

Construction Drawings for TRI LEVEL CUSTOM HOME FORT MYERS, FL

FLORIDA BUILDING CODE RESIDENTIAL 2020 7TH EDITION
 BASIC WIND SPEED: 160 MPH
 RISK CATEGORY: II
 NOMINAL WIND SPEED (v_{asd}): 124 MPH
 FLOOD ZONE: ZONE VE B.F.E=16 FEET
 INTERNAL PRESSURE COEFFICIENT: +/-0.18
 EXPOSURE CATEGORY: D

STRUCTURAL FORCES:
 FLOOR LIVE LOAD: 40 PSF
 ROOF LIVE LOAD: 30 PSF
 FLOOR DEAD LOAD: 30 PSF
 ROOF DEAD LOAD 25
 PSF
 ROOF SLOPE: 5/12

COMPONENTS AND CLADDING DESIGN PRESSURES
 ZONE 1:
 ZONE 2:
 ZONE 3:
 ZONE 4:
 ZONE 5:

WINDOWS AND DOOR WIND PRESSURE DESIGN LOADING
 WINDOWS:
 DOORS:
 GARAGE DOOR:



SHEET LAYOUT

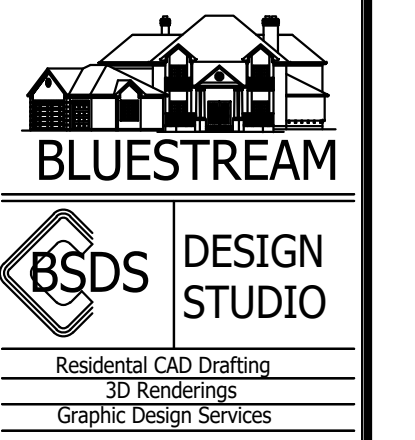
- | | |
|---------------------------------------|---|
| 1 - COVER SHEET | 10-ROOF BIRDSEYE |
| 2 - FLOOR PLAN MAIN LVL | 11 - ELECTRICAL MAIN LVL |
| 3 - FLOOR PLAN LOWER | 12 - ELECTRICAL LOWER |
| 4 - FLOOR PLAN UPPER | 13 - ELECTRICAL UPPER |
| 5 - EXTERIOR ELEVATION | 14 - ROOF TRUSS LAYOUT |
| 6 - EXTERIOR ELEVATION | 15 - FLOOR TRUSS LAYOUT |
| 7 - FOUNDATION GRADE BEAM PLAN | 15 - DETAILS/SPECIFICATIONS - S1 |
| 8 - ELEVATION RENDERINGS | 16 - DETAILS/SPECIFICATIONS - S1 |
| 9 - WALL SECTION | |

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL OF THE LATEST CODES, LOCAL, COUNTY AND STATE HAVING JURISDICTION.
- BUILDERS, CONTRACTORS, SUB-CONTRACTORS AND SUPPLIERS SHALL VERIFY ALL CONDITIONS AT THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL ROUGH OPENING SIZES PRIOR TO CONSTRUCTION.
- ANY ERRORS OR OMISSIONS ON THESE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION. PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ENGINEER IS NOT SUPERVISING CONSTRUCTION.

*CONTRACTOR SHALL PROVIDE MANUFACTURER'S COMPLIANCE DOCUMENTS AND APPROVAL CODES FOR ANY SUBSTITUTIONS

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Builder:
 OWNER BUILDER
 FORT MYERS, FL

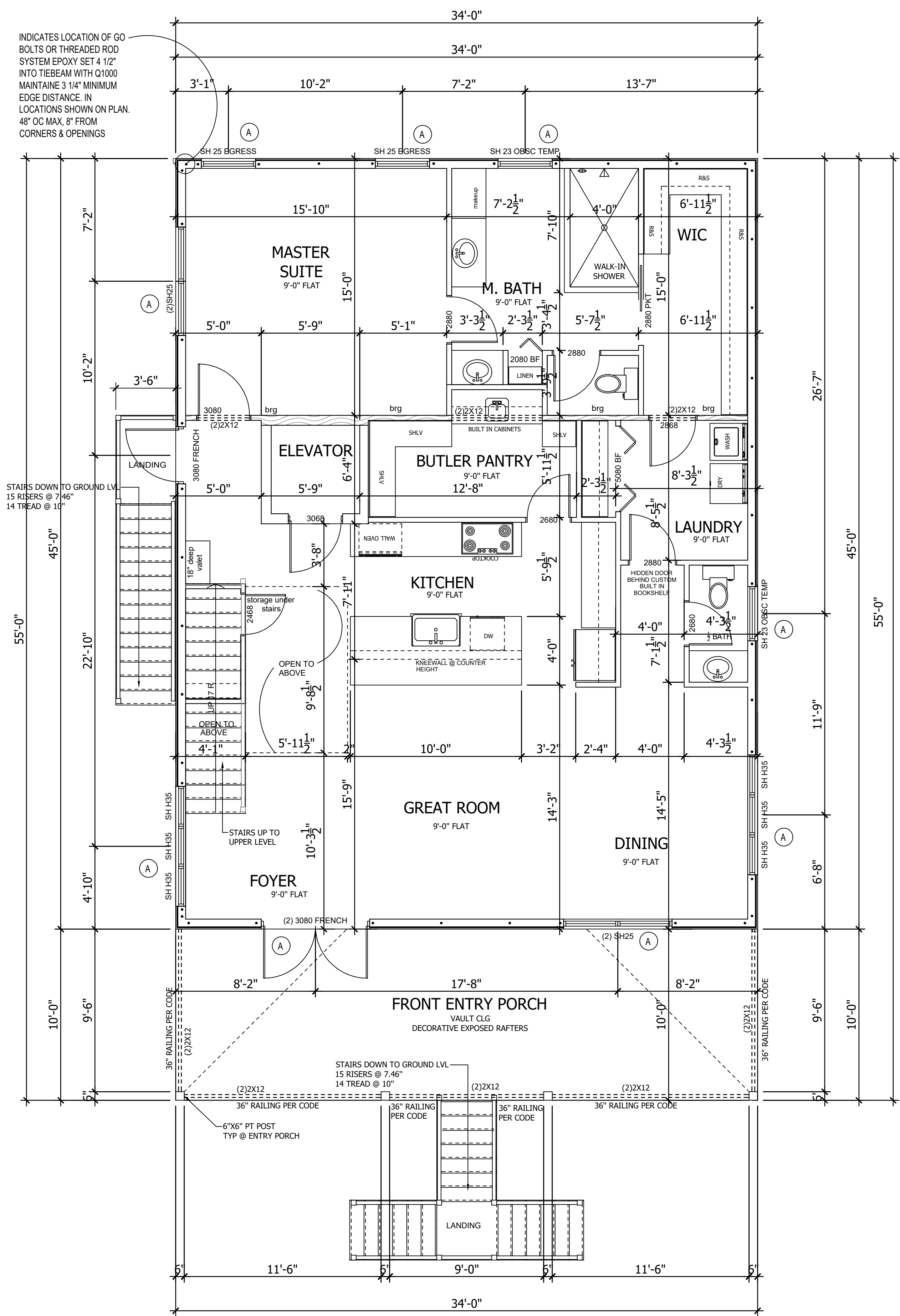
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DATE	4/15/23
DESIGN BY:	LBB
CHECKED BY:	TMB
JOB NO.	aaron.castilla.dwg

REV	DESCRIPTION
1	P1 11/23/22
2	P2 12/07/22
3	P3 12/20/22
4	
5	
6	
7	
8	

Project:
 TRI LVL CUSTOM
 TRI-LEVEL CUSTOM HOME
 FORT MYERS, FL

SHEET
 1
 COVER
 SCALE: 1/4" = 1'-0"



HEADER SCHEDULE

(A)	(3) 2X12 S.Y.P. #2 WITH (3) ROWS 10d AT 12" O.C. EACH SIDE. NOTE: PROVIDE (2) JACK & (1) KING STUD EACH SIDE OF HEADER. 2X6 CRIPPLES TO TOP PLATE AT 16" O.C. WITH LSTA30.
(B)	(3) 1 3/4" X 11 1/4" LVL WITH (3) ROWS OF 10d AT 12" O.C. EACH SIDE (SEE DETAIL)
(C)	(3) 1 3/4" X 18" LVL WITH (3) ROWS 10d AT 8" O.C. EACH SIDE. (SEE DETAIL)

NOTES:

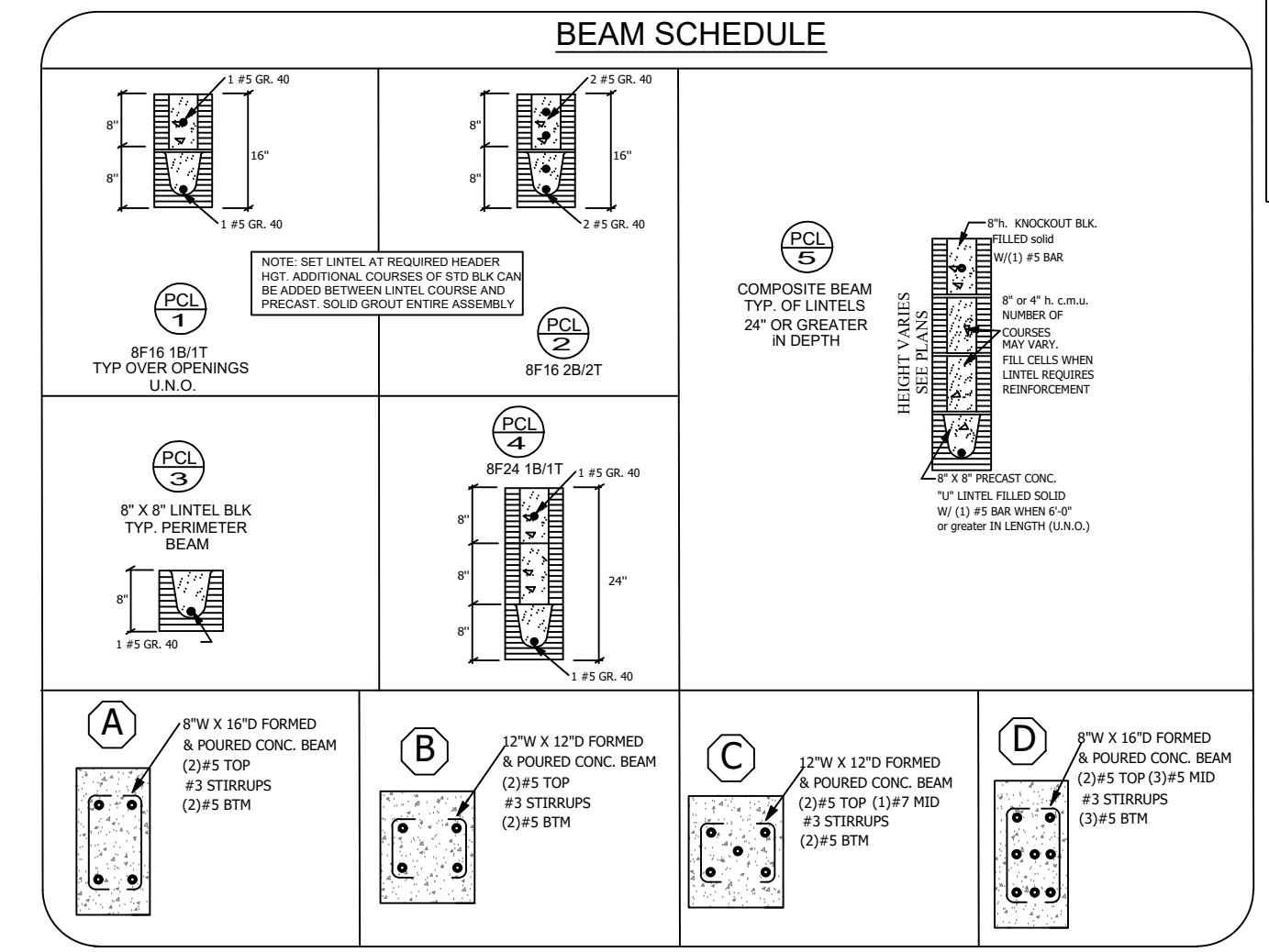
- TYPICAL HEADER UNLESS NOTED OTHERWISE IS (3) 2X12 S.Y.P. #2 WITH (2) 1/2" PLYWOOD SPLINES. PROVIDE (3) ROWS 10d AT 12" O.C. EACH SIDE. (2) MSTA15 TO (2) 2X6 JACK & (1) KING STUD EACH SIDE OF HEADER. 2X6 CRIPPLES TO TOP PLATE AT 16" O.C. WITH LSTA30.
- ALL POST BASES AND CONNECTED FASTENERS MUST BE 316 STAINLESS STEEL
- EXTERIOR HARDWARE, CONNECTORS AND FASTENERS TO BE 316 STAINLESS STEEL OR OTHER CORROSION SYSTEM APPROVED FOR COASTAL CONSTRUCTION.

WALL LEGEND

SYMBOL	REPRESENTS
[Symbol]	2x6 EXT P.T. FRAME BRG WALLS @ 16" O.C. BRG. HT. @ 8'-0" AFF (TYP. UPPER LEVEL WALL HT)
[Symbol]	2x6 EXT P.T. FRAME BRG WALLS @ 16" O.C. BRG. HT. @ 9'-0" AFF (TYP. MAIN LVL WALL HT)
[Symbol]	DECORATIVE WOOD FRAME BREAKAWAY BOARDS
[Symbol]	INT. BRG. PARTITION WALL - 4" (U.N.O.) 1/2" GYP. BD. ON EACH SIDE OF 2X4 WD. STUDS @ 16" O.C.
[Symbol]	INT. BRG. PARTITION WALL - 6" (U.N.O.) 1/2" GYP. BD. ON EACH SIDE OF 2X4 WD. STUDS @ 16" O.C.

SQUARE FOOTAGE

LIVING MAIN	1,530
LIVING UPPER	856
OPEN VOLUME AREA	102
TOTAL LIVING	2,488
ENTRY PORCH	340
LOWER LEVEL STORAGE	265
LOWER LEVEL OPEN	1,605
TOTAL OVERALL SF	4,698



TRUSS CONNECTOR NOTES:

1. PROVIDE SIMPSON (1)HTS 20 HURRICANE STRAP AT EACH TRUSS TO TIE-BEAM CONNECTION, UNLESS NOTED OTHERWISE.

CONNECTOR TABLE

SIMPSON	USP	UPLIFT (LBS)	FASTENING INFORMATION	ADDITIONAL INSTRUCTIONS
WOOD TO WOOD				
HTS20	HTW20	1450	(20) 10D NAILS TOTAL	
(2) HTS20	(2) HTW20	2900	(20) 10D NAILS EACH STRAP	
H10A	RT16A	1140	(9) 10D X 1-1/2" NAILS TO RAFTER & (8) 10D TO PLATE	
SPH4/6/8	SPT4/6/8	1360	(12) 10D NAILS TO STUD	
WOOD TO CONCRETE				
META20	-	1450	(7) 10D X 1-1/2" NAILS & 4" EMBEDMENT	TYP FOR HIP JACKS OR 1-PLY TRUSSES
HETA20	-	1810	(10) 10D X 1-1/2" NAILS & 4" EMBEDMENT	TYP FOR HIP JACKS OR 1-PLY TRUSSES
-	HTA16	1870	(10) 10D X 1-1/2" NAILS & 4" EMBEDMENT	TYP FOR HIP JACKS OR 1-PLY TRUSSES
HTSM20	HTWM20	1175	(8) 10D NAILS & (4) 1/4" X 2-3/4" TAPCONS	TYP FOR MISSED STRAPS (NO LIMIT)
(2) META20	-	1985	(5) 10D X 1-1/2" NAILS EACH STRAP	TYP FOR 1-PLY TRUSSES / GIRDERS
(2) HETA20	-	2500	(7) 16D NAILS EACH STRAP & 4" EMBEDMENT	TYP FOR 2-PLY TRUSSES / GIRDERS
(2) HTA16	-	2430	(10) 10D NAILS EACH STRAP & 4" EMBEDMENT	TYP FOR 1 or 2-PLY TRUSSES / GIRDERS
OTHER CONNECTORS				
-	PAUG6-SS	2265	5/8" ATR EMBED 10" & (2) 1/2" THRU BOLTS TO POST	ALL FASTENERS TO BE STAINLESS STEEL
MGT	MUGT15	3965	5/8" ATR EMBED 6" & (22) 10D NAILS TO WOOD	ADD 4" TO EMBED FOR LINTEL BEAMS
HGT	HUGT	9790	(2) 3/4" ATR EMBED 10" & (8) 1/6 FOR HGT 10D NAILS	ADD 4" TO EMBED FOR LINTEL BEAMS
FGTR	-	5000	(2) 1/2" X 5" TITEN HD & (18) SDS14X3 TO WOOD	MAY BE FGTRHLR (3850 MAX UPLIFT)
(2) FGTR	-	9400	(2) 1/2" X 5" TITEN HD & (18) SDS14X3 TO WOOD (EA)	MAY BE (2) FGTRHLR (7200 MAX UPLIFT)
HT4	HT4	4235	5/8" ATR EMBED 6" & (18) 16D NAILS TO WOOD	ADD 4" TO EMBED FOR LINTEL BEAMS
HT5	HT5	5090	5/8" ATR EMBED 6" & (28) 16D NAILS TO WOOD	ADD 4" TO EMBED FOR LINTEL BEAMS
HDD8-SDS	PHD8	7630	7/8" ATR EMBED 12" & (20) 3" WOOD SCREWS	3 1/2" MIN WOOD MEMBER
HHDD11-SDS	UPHD9	11810	1" ATR EMBED 12" & (24) 3" WOOD SCREWS	5 1/4" MIN WOOD MEMBER
HHDD14-SDS	UPHD14	13710	1" ATR EMBED 12" & (30) 3" WOOD SCREWS	5 1/4" MIN WOOD MEMBER
MBHA	NFMXXU	3165	3/4" X 8" ATR EMBED FACE & TOP (1/2" TOP FOR NFM)	ENGINEER TO SPECIFY USAGE ON PLANS
RPS22	KRPS22	1720	(8) 16D NAILS EACH END	NOTCHED PLATE REPAIR AT EACH PLY

GENERAL NOTES:

- 1) NAILING MAY BE REDUCED FOR LOWER UPLIFTS. PROVIDE (1) 10D X 1-1/2" NAIL FOR EA 100 LBS OF UPLIFT (4 NAILS MIN).
- 2) MISSED STRAPS PROVIDE HTSM20/MTWM20 1-1/2" MIN EDGE DISTANCE. UNLIMITED USE MAXIMUM UPLIFT 1175#. FOR UPLIFTS TO 3965# PROVIDE MUGT15/MGT
- 3) WHERE ENGINEER SPECIFIES REFERENCED STRAP FOR 1-PLY TRUSSES, ADD 24" MIN 2X SCAB TO TRUSS CHORD
- 4) REPLACEMENT OF CONNECTOR ON PLAN WITH EQUAL OR BETTER PER THIS TABLE IS ACCEPTABLE

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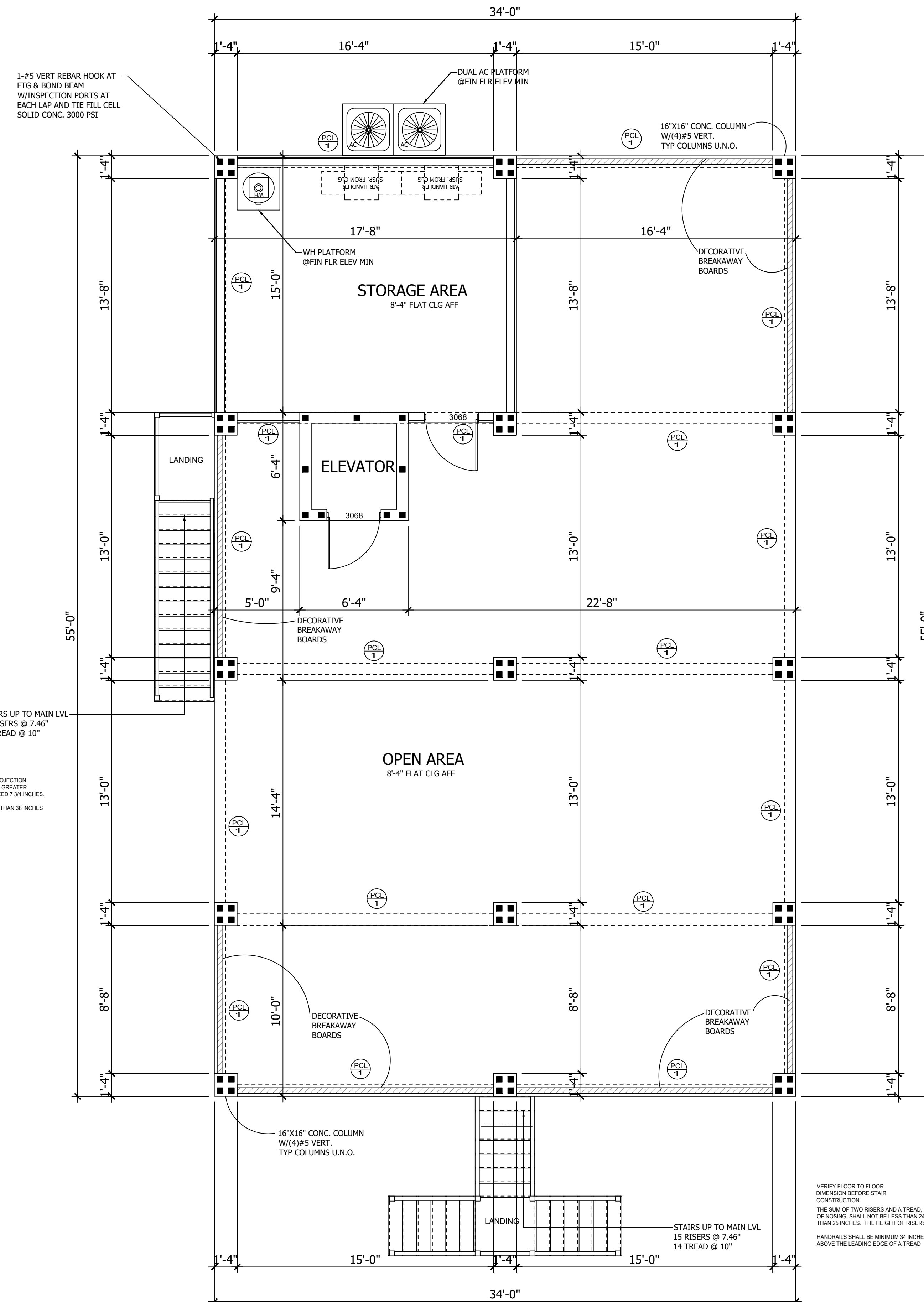
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TRI LVL CUSTOM
TRI-LEVEL CUSTOM HOME
FORT MYERS, FL



HEADER SCHEDULE

A	(3) 2X12 S.Y.P. #2 WITH (3) ROWS 10d AT 12" O.C. EACH SIDE. NOTE: PROVIDE (2) JACK & (1) KING STUD EACH SIDE OF HEADER. 2X6 CRIPPLES TO TOP PLATE AT 16" O.C. WITH LSTA30.
B	(3) 1 3/4" X 11 1/4" LVL WITH (3) ROWS OF 10d AT 12" O.C. EACH SIDE (SEE DETAIL).
C	(3) 1 3/4" X 18" LVL WITH (3) ROWS 10d AT 8" O.C. EACH SIDE. (SEE DETAIL).

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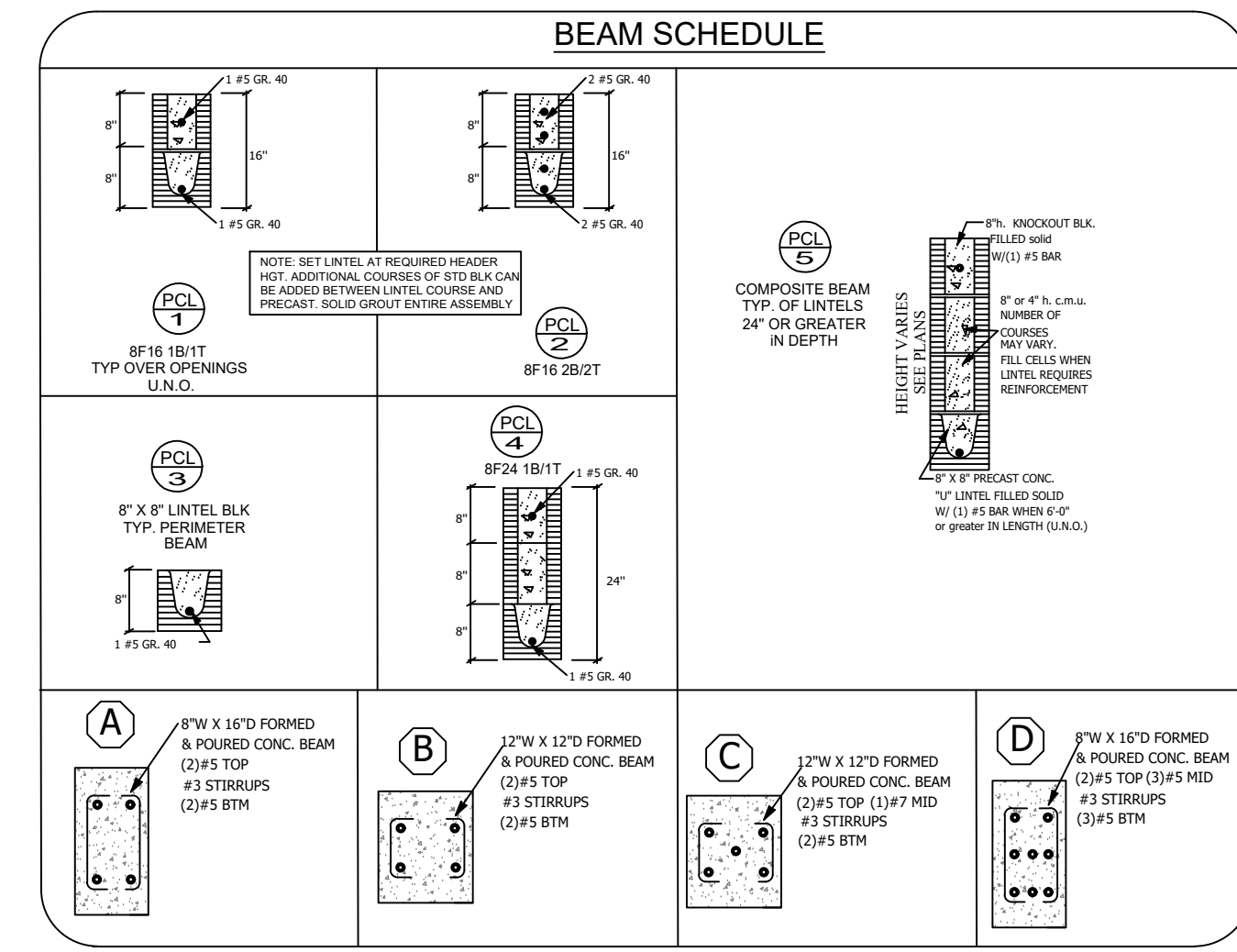
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WALL LEGEND

SYMBOL	REPRESENTS
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	2x6 EXT P.T. FRAME BRG WALLS @ 16" O.C. BRG. HT. @9'-0" AFF (TYP. MAIN LVL WALL HT)
	DECORATIVE WOOD FRAME BREAKAWAY BOARDS
	INT. BRG. PARTITION WALL - 4" (U.N.O.) 1/2" GYP. BD. ON EACH SIDE OF 2X4 WD. STUDS @ 16" O.C.
	INT. BRG. PARTITION WALL - 6" (U.N.O.) 1/2" GYP. BD. ON EACH SIDE OF 2X4 WD. STUDS @ 16" O.C.

SQUARE FOOTAGE

LIVING MAIN	1,530
LIVING UPPER	856
OPEN VOLUME AREA	102
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ENTRY PORCH	340
LOWER LEVEL STORAGE	265
LOWER LEVEL OPEN	1,605
TOTAL OVERALL SF	4,698



NOTE: SEE TRUSS MANUFACTURER PLANS/PROFILES FOR ALL ABOVE CEILING FASTENERS/CONNECTIONS, THIS INCLUDES TRUSS-TRUSS, GIRDER-TRUSS, AND GIRDER-GIRDER CONNECTIONS

TRUSS CONNECTOR NOTES:
1. PROVIDE SIMPSON (1)HTS 20 HURRICANE STRAP AT EACH TRUSS TO TIE-BEAM CONNECTION, UNLESS NOTED OTHERWISE.

CONNECTOR TABLE

SIMPSON	U.LIFT	UPLIFT (LBS)	FASTENING INFORMATION	ADDITIONAL INSTRUCTIONS
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H10A	RT16A	1140	(9) 100D1-1/2" NAILS TO RAFTER & (8)10D TO PLATE	
SPH4/6/8	SPTH4/6/8	1380	(12) 10D NAILS TO STUD	
WOOD TO CONCRETE				
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-	HTA16	1870	(10) 100D1-1/2" NAILS & 4" EMBEDMENT	TYP FOR HIP JACKS OR 1-PLY TRUSSES
HTSM20	HTWM20	1175	(8) 10D NAILS & (4) 1/4"X2-3/4" TAPCONS	TYP FOR MISSED STRAPS (NO LIMIT)
(2) META20	-	1985	(5) 100D1-1/2" NAILS EACH STRAP	TYP FOR 1-PLY TRUSSES / GIRDERS
(2) META20	2500	2500	(7) 16D NAILS EACH STRAP & 4" EMBEDMENT	TYP FOR 2-PLY TRUSSES / GIRDERS
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HHQ11-SDS	UPHD9	11810	1" ATR EMBED 12" & (24) 3" WOOD SCREWS	5 1/4" MIN WOOD MEMBER
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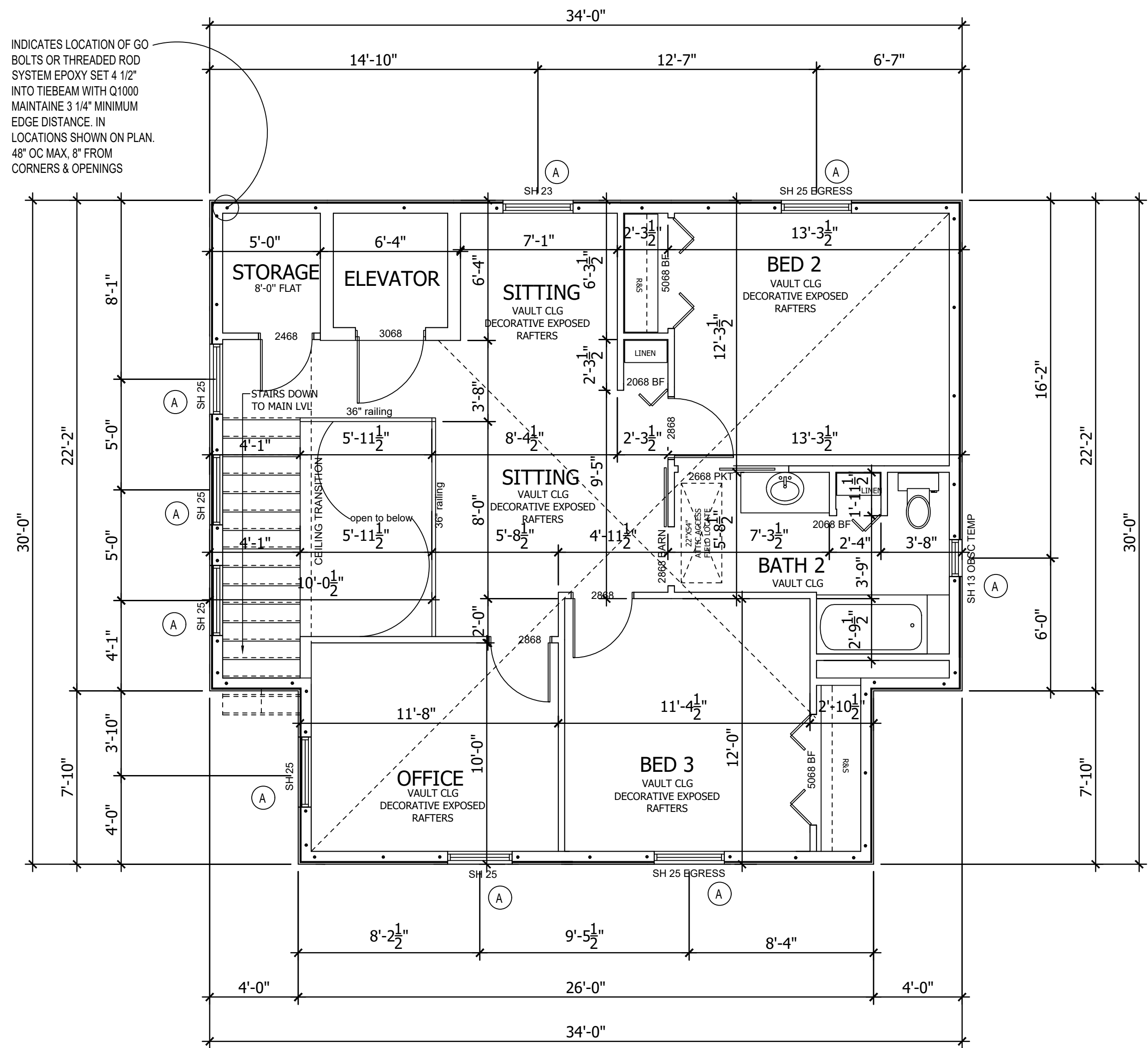
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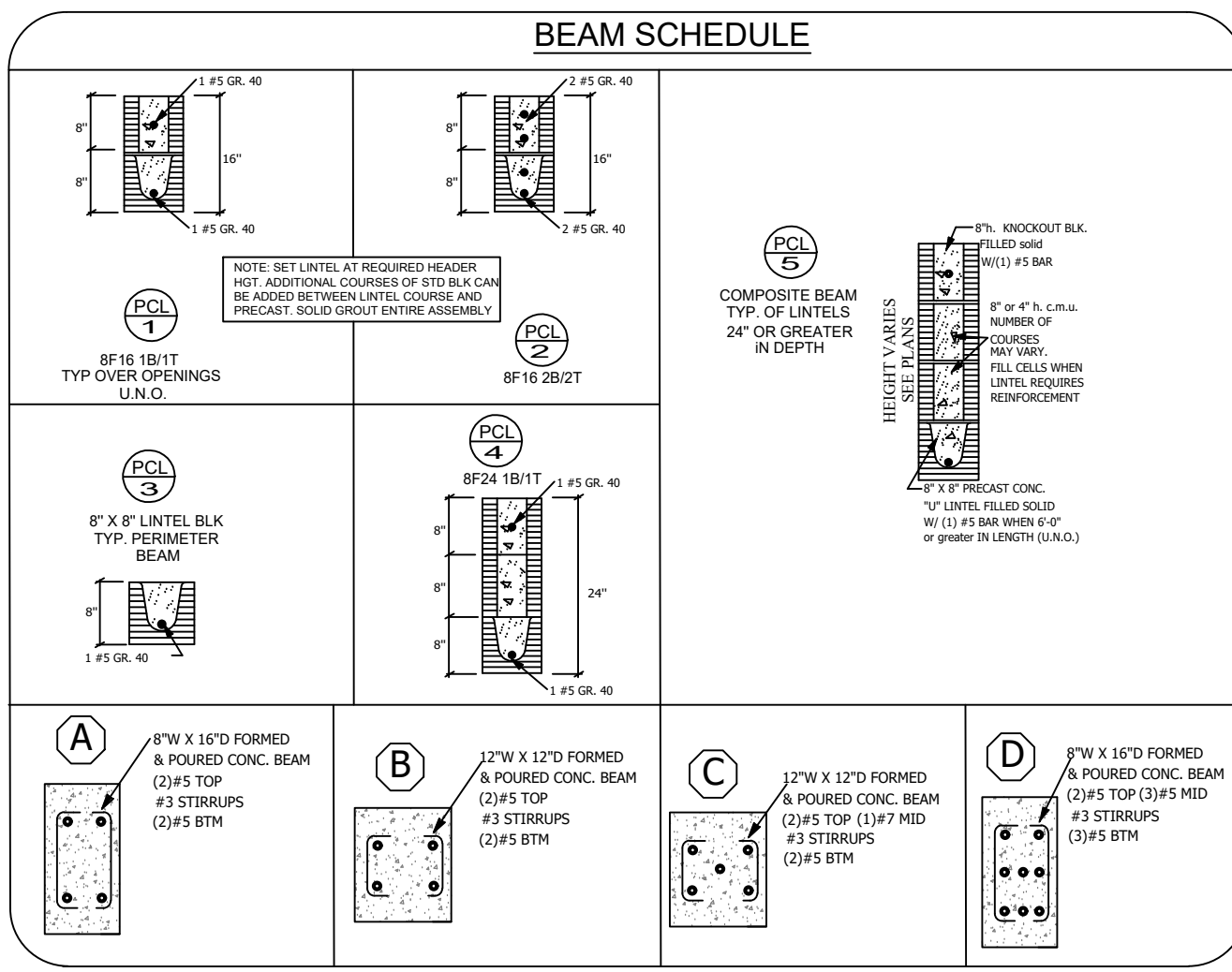
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(2) FGTR	-	9400	(2) 1/2"X6" TITEN HD & (18) SDS1/4X3 TO WOOD (EA)	MAY BE (2) FGTRHLR (7200 MAX UPLIFT)
HT4	HTT4	4235	5/8" ATR EMBED 6" & (18) 16D NAILS TO WOOD	ADD 4" TO EMBED FOR LINTEL BEAMS
HT5	HTT5	5090	5/8" ATR EMBED 6" & (28) 16D NAILS TO WOOD	ADD 4" TO EMBED FOR LINTEL BEAMS
HDO8-SDS	PHD8	7630	7/8" ATR EMBED 12" & (20) 3" WOOD SCREWS	3 1/2" MIN WOOD MEMBER
HHOQ11-SDS	UPHD9	11810	1" ATR EMBED 12" & (24) 3" WOOD SCREWS	5 1/4" MIN WOOD MEMBER
HHOQ14-SDS	UPHD14	13710	1" ATR EMBED 12" & (30) 3" WOOD SCREWS	5 1/4" MIN WOOD MEMBER
MBHA	NFMXXU	3165	3/4"X8" ATR EMBED FACE & TOP 1/2" TOP FOR NFM	ENGINEER TO SPECIFY USAGE ON PLANS
KPS22	KRPS22	1720	(8)16D NAILS EACH END	NOTCHED PLATE REPAIR AT EACH PLY

GENERAL NOTES:
 1) NAILING MAY BE REDUCED FOR LOWER UPLIFTS. PROVIDE (1) 10DX1-1/2" NAIL FOR EA 100 LBS OF UPLIFT (4 NAILS MIN).
 2) MISSED STRAPS PROVIDE HTSM20/MTWM20 1-1/2" MIN EDGE DISTANCE. UNLIMITED USE MAXIMUM UPLIFT 175#. FOR UPLIFTS TO 3965# PROVIDE MUGT15/MGT
 3) WHERE ENGINEER SPECIFICS REFERENCED STRAP FOR 1-PLY TRUSSES. ADD 24" MIN 2X SCAB TO TRUSS CHORD
 4) REPLACEMENT OF CONNECTOR ON PLAN WITH EQUAL OR BETTER PER THIS TABLE IS ACCEPTABLE

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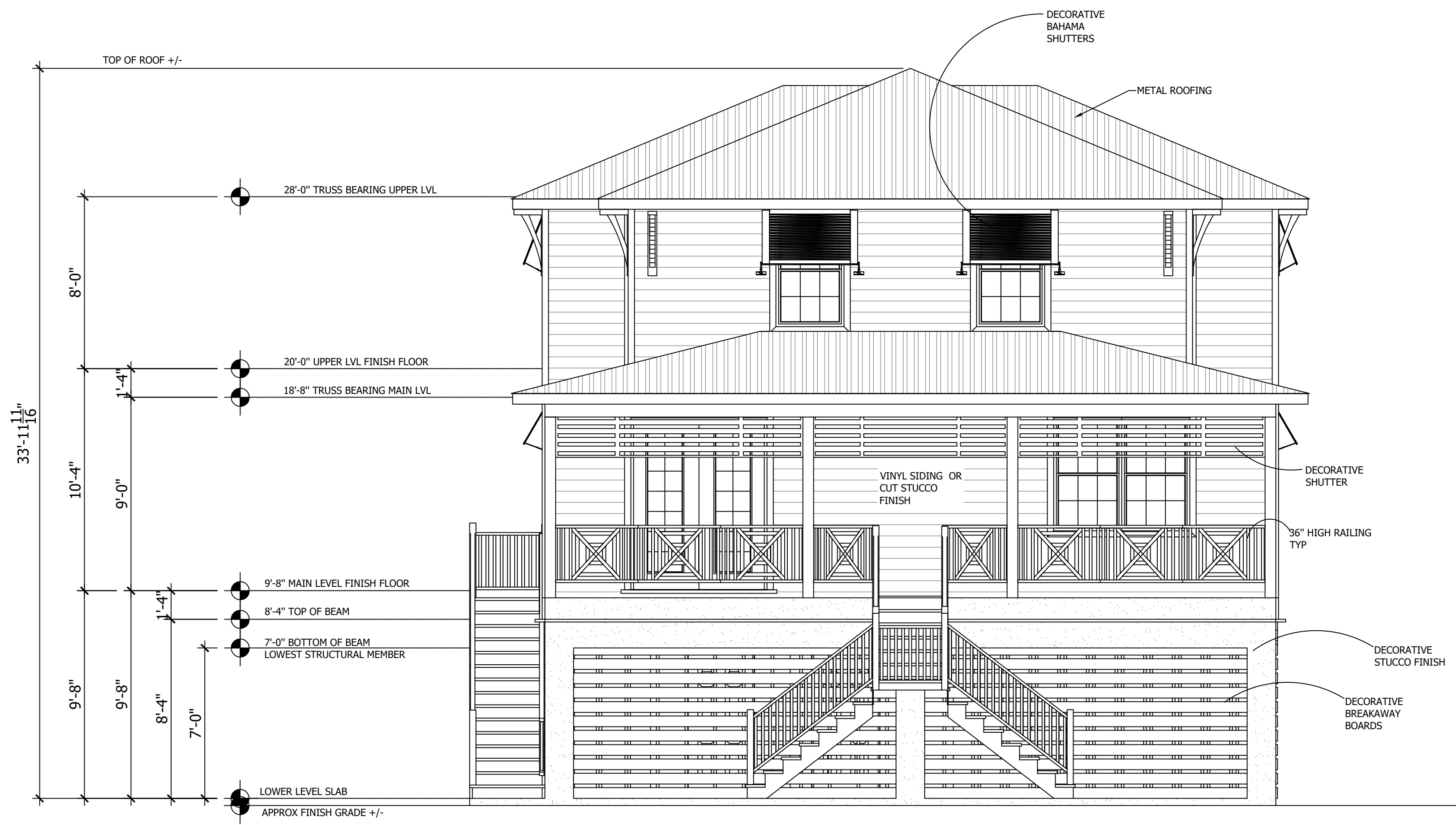
Builder:
OWNER BUILDER
 FORT MYERS, FL

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DATE	4/15/23
DESIGN BY:	LBB
CHECKED BY:	TMB
JOB NO.	aaron.castilla.dwg

REV	DESCRIPTION
1	P1 11/23/22
2	P2 12/07/22
3	P3 12/20/22
4	
5	
6	
7	
8	

Project:
TRI LVL CUSTOM
 TRI-LEVEL CUSTOM HOME
 FORT MYERS, FL



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



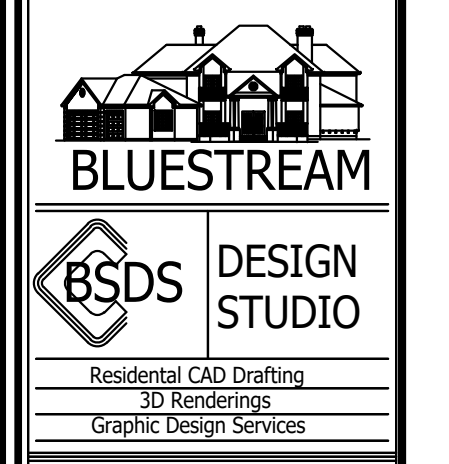
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ROOF VENTING CALCS PER FBC R806

AREA 2453 S/F
VENTING REQUIRED 2453 SF x 144 SQ IN/ SQ FT x 1/300 SQ IN VENT/ SQ IN ROOF = 1178 SQ IN

DISCRETE ROOF AREAS TO HAVE PERCENTAGE OF TOTAL VENTING PROPORTIONAL TO THE PERCENTAGE OF AREA
VENTING REQUIRED TO BE DOUBLED UNLESS ONE OF THE FOLLOWING TWO CRITERIA IS TRUE:
- AT LEAST 50% BUT NO MORE THAN 80% OF REQUIRED ROOF VENTING IS TO BE A MINIMUM OF 3'-0" ABOVE THE FASCIA LINE BY RIDGE AND/OR OFF-RIDGE VENTING. THE REMAINING REQUIRED VENTING IS TO BE IN THE SOFFIT AREA.
- A CEILING VAPOR BARRIER TO BE INSTALLED ON THE WARM SIDE IN WINTER WITH A MAXIMUM PERMEANCE RATING OF 1 PER ASTM E 96. VERIFY WITH MANUFACTURER'S SPECIFICATION THAT KRAFT FACE BATT. INSULATION MEETS THIS REQUIREMENT. INSTALLED PER MANUFACTURERS SPECS.

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Project:
TRI LVL CUSTOM
TRI-LEVEL CUSTOM HOME
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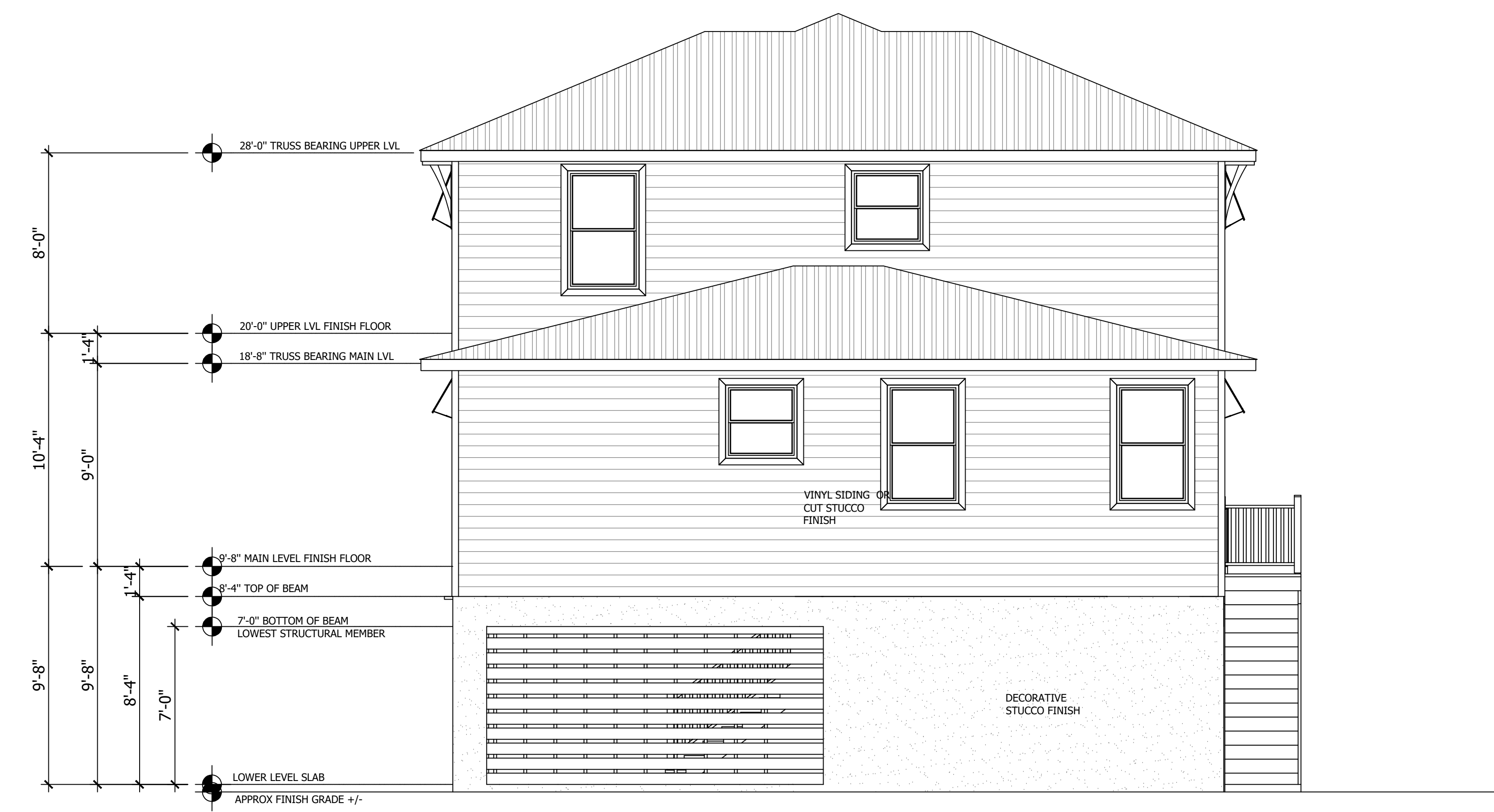
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Project:
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 TRI-LEVEL CUSTOM HOME
 FORT MYERS, FL

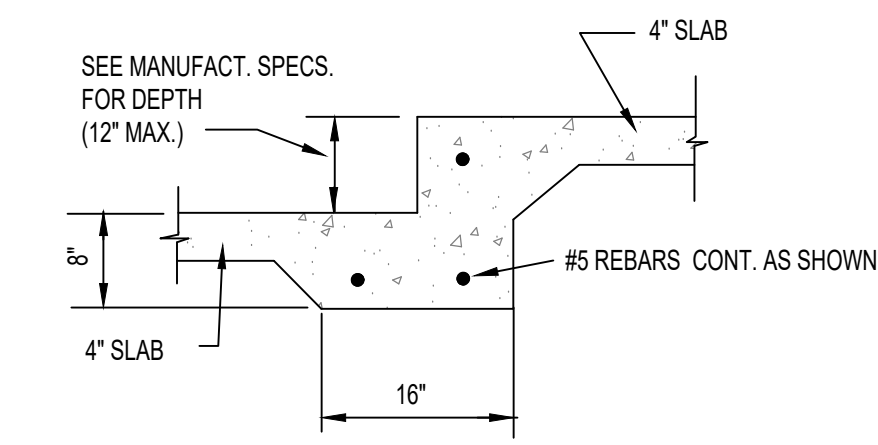
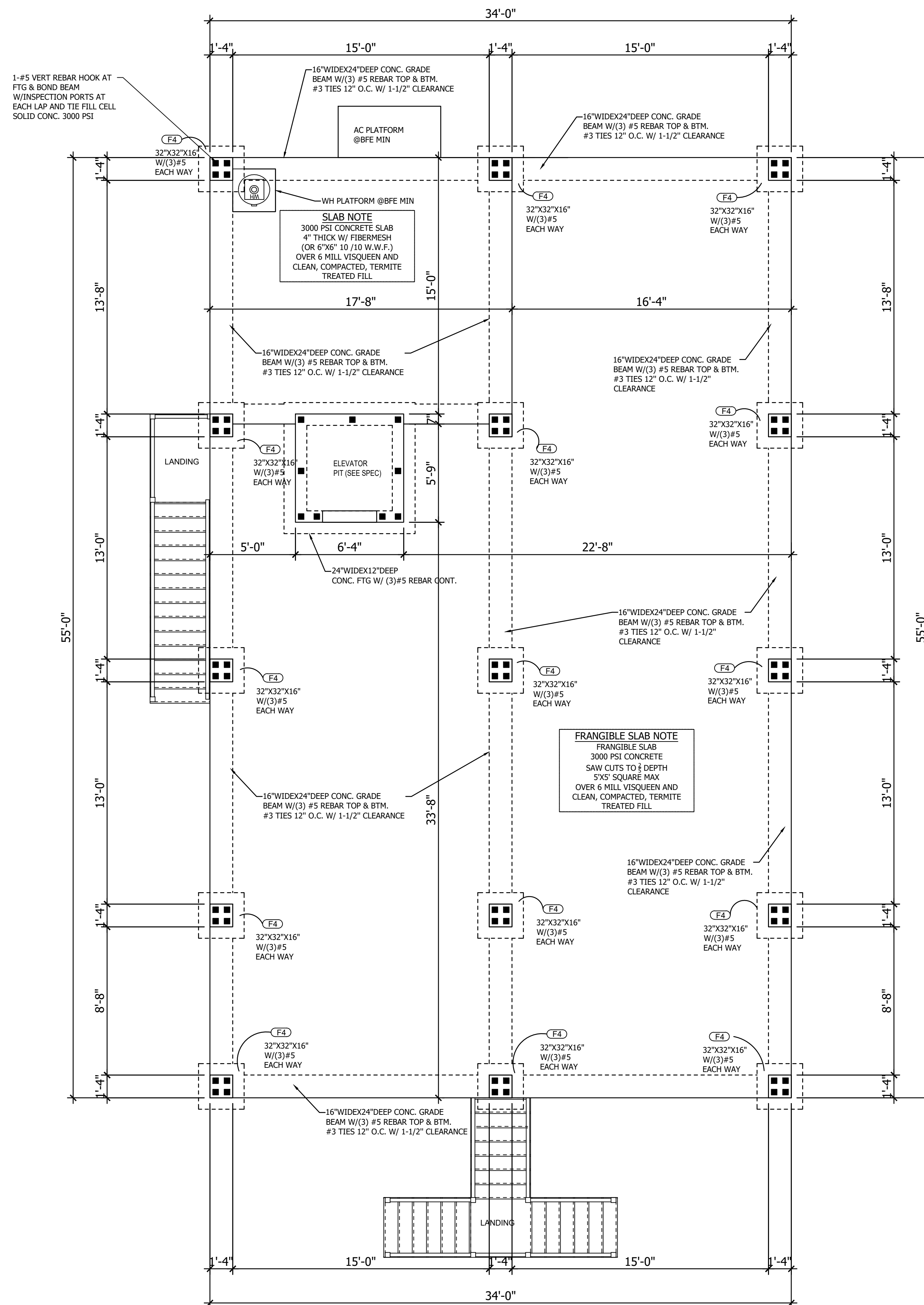
SHEET
6
 ELEVATION
 SCALE: 1/4" = 1'-0"



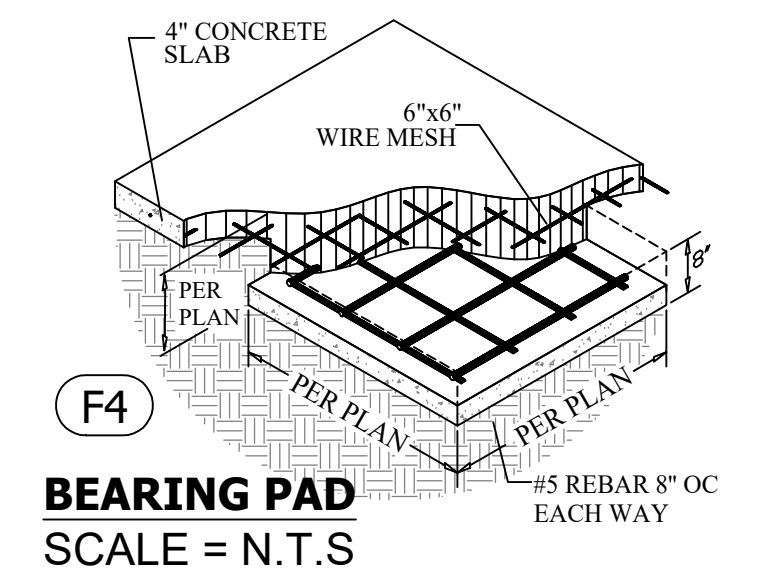
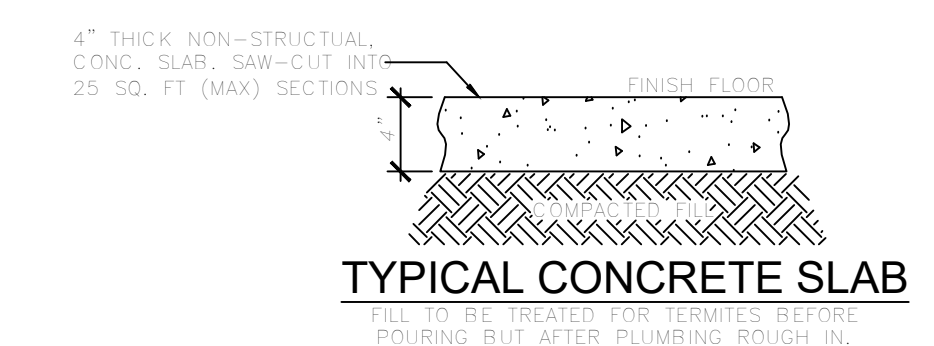
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



ELEVATOR PIT DETAIL
SCALE = N.T.S.



BEARING PAD
SCALE = N.T.S.

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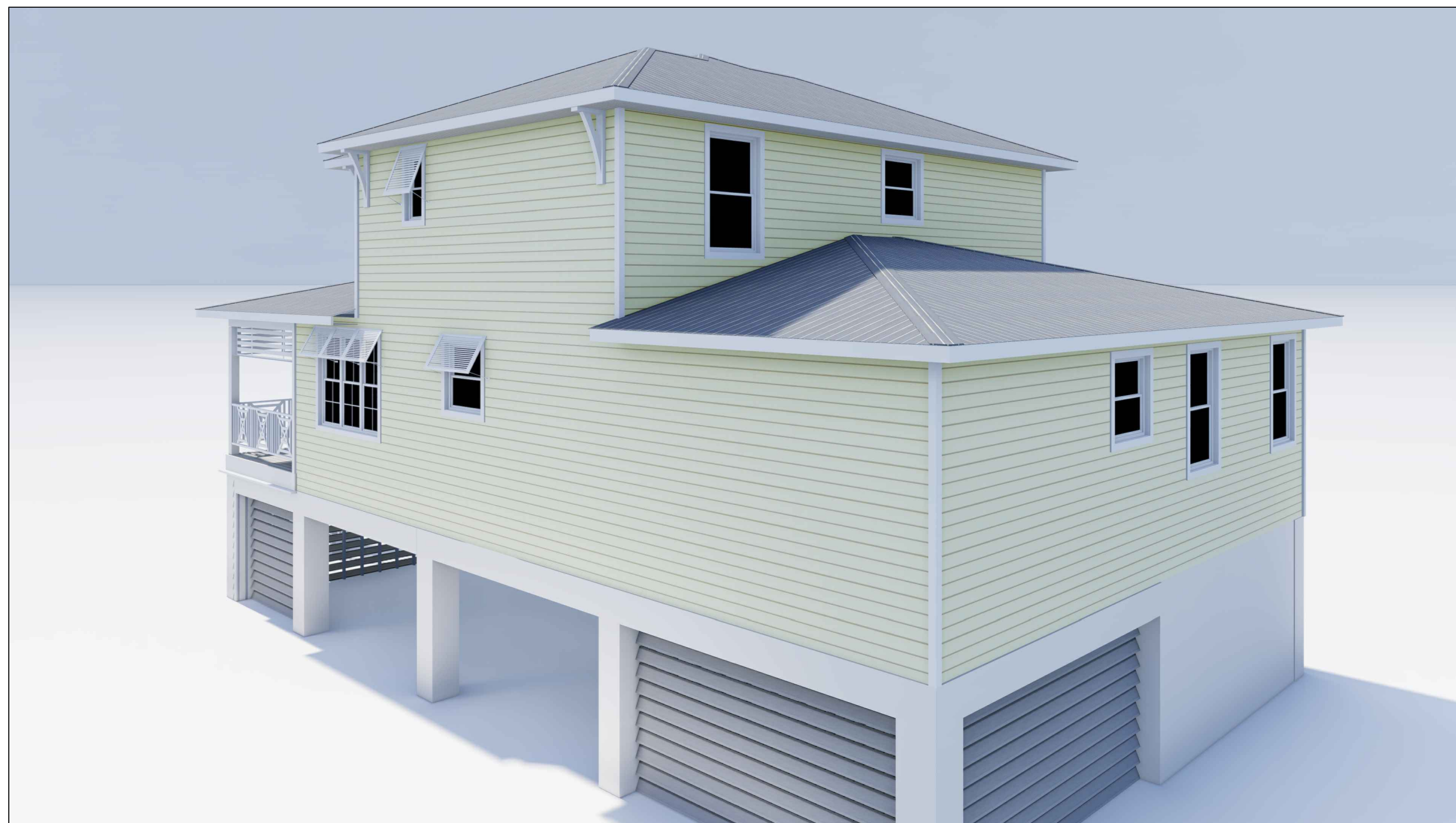
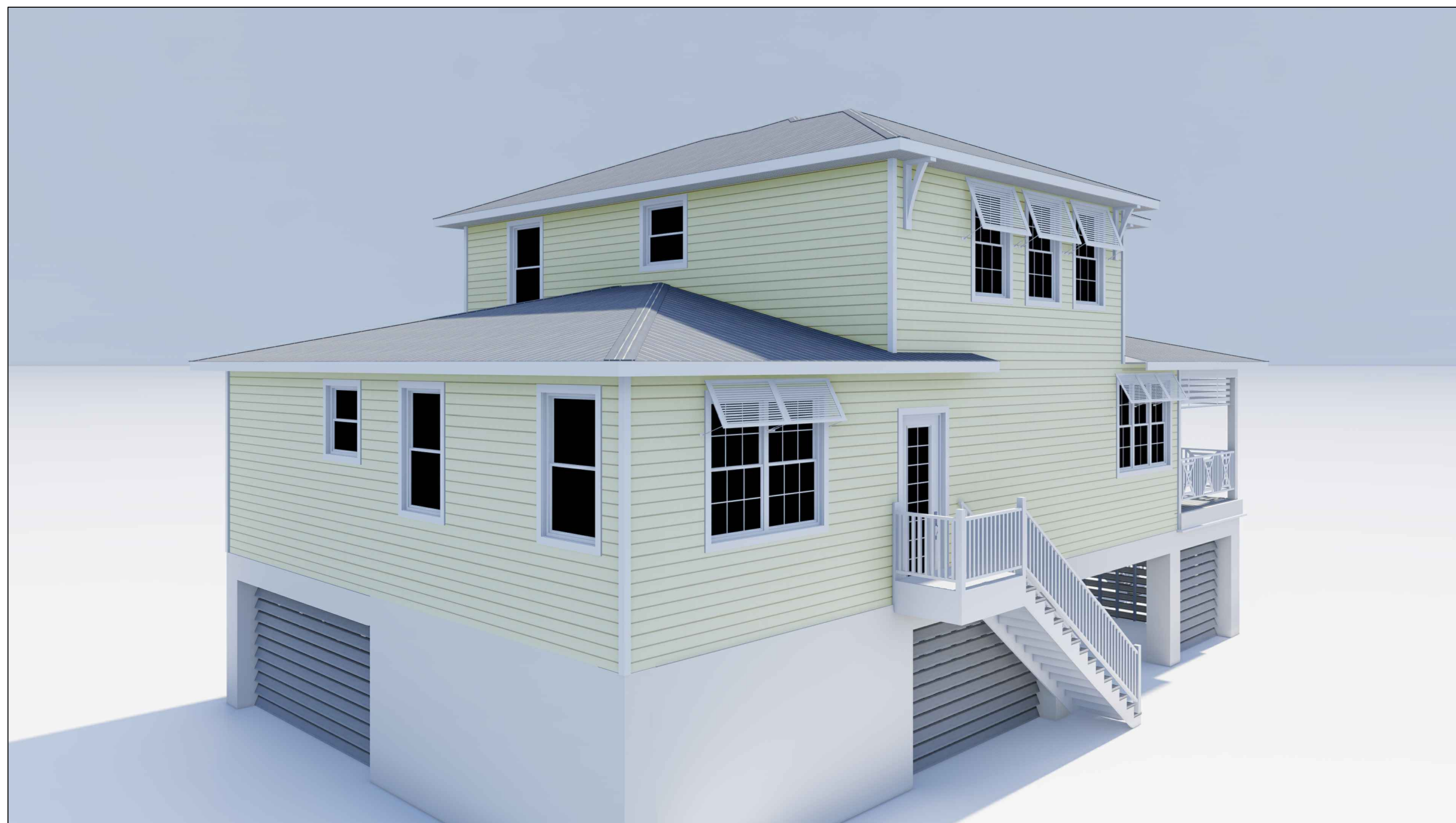
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Project:
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TRI-LEVEL CUSTOM HOME
FORT MYERS, FL



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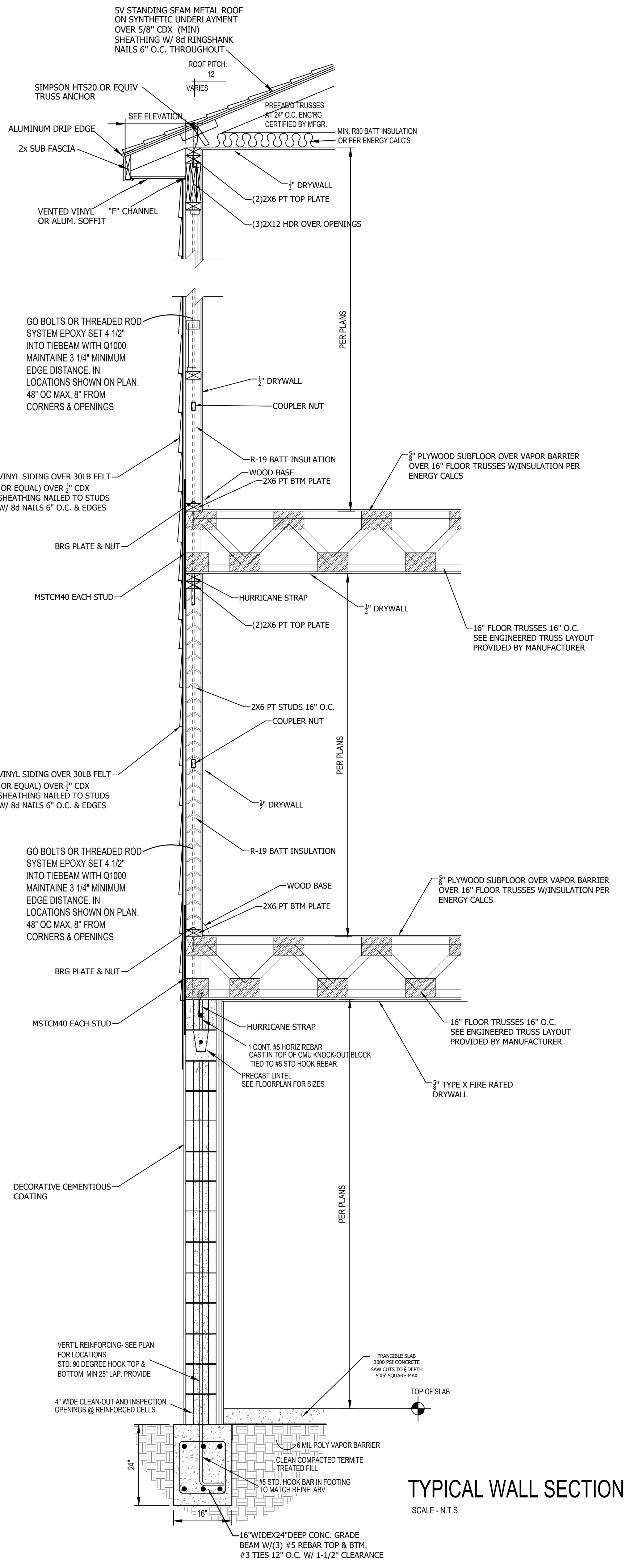
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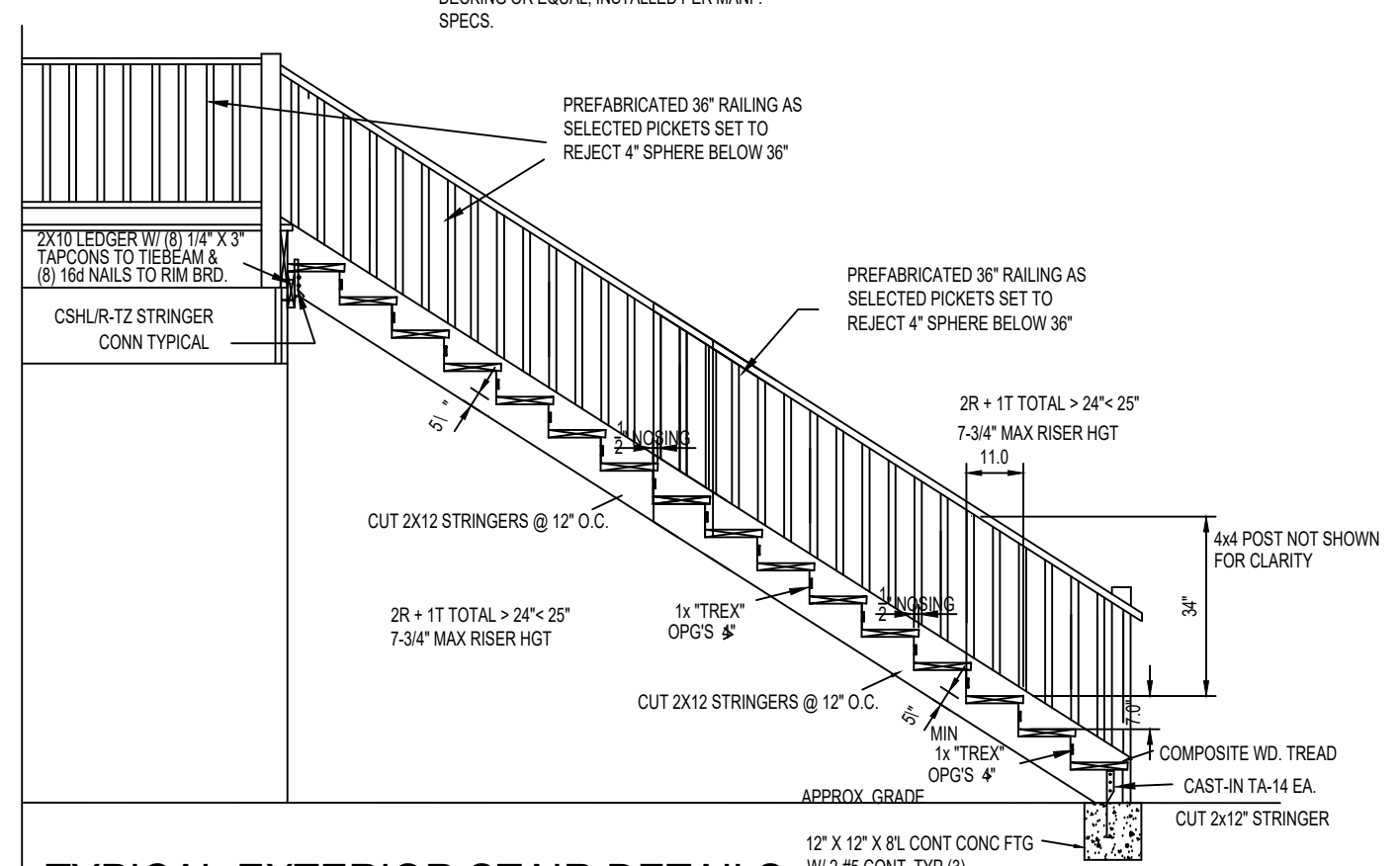
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Project:
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TRI-LEVEL CUSTOM HOME
FORT MYERS, FL

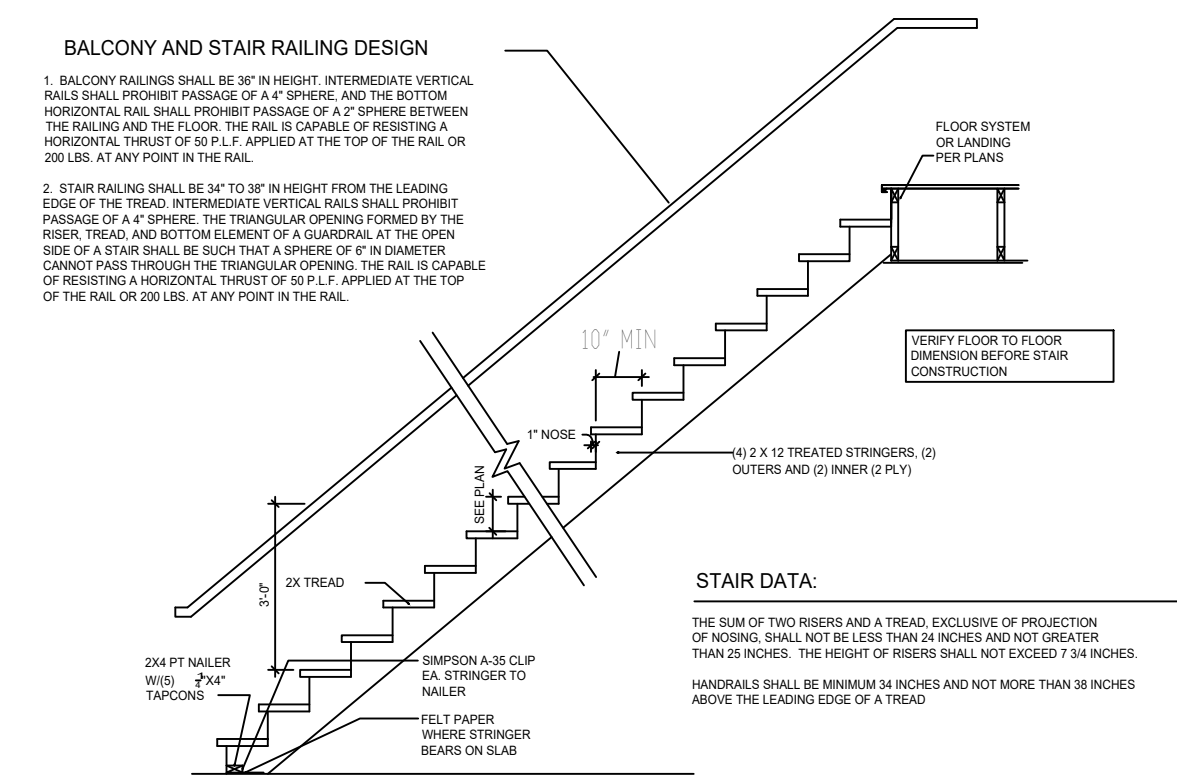
SHEET
8
3D RENDERS
SCALE: N.T.S.



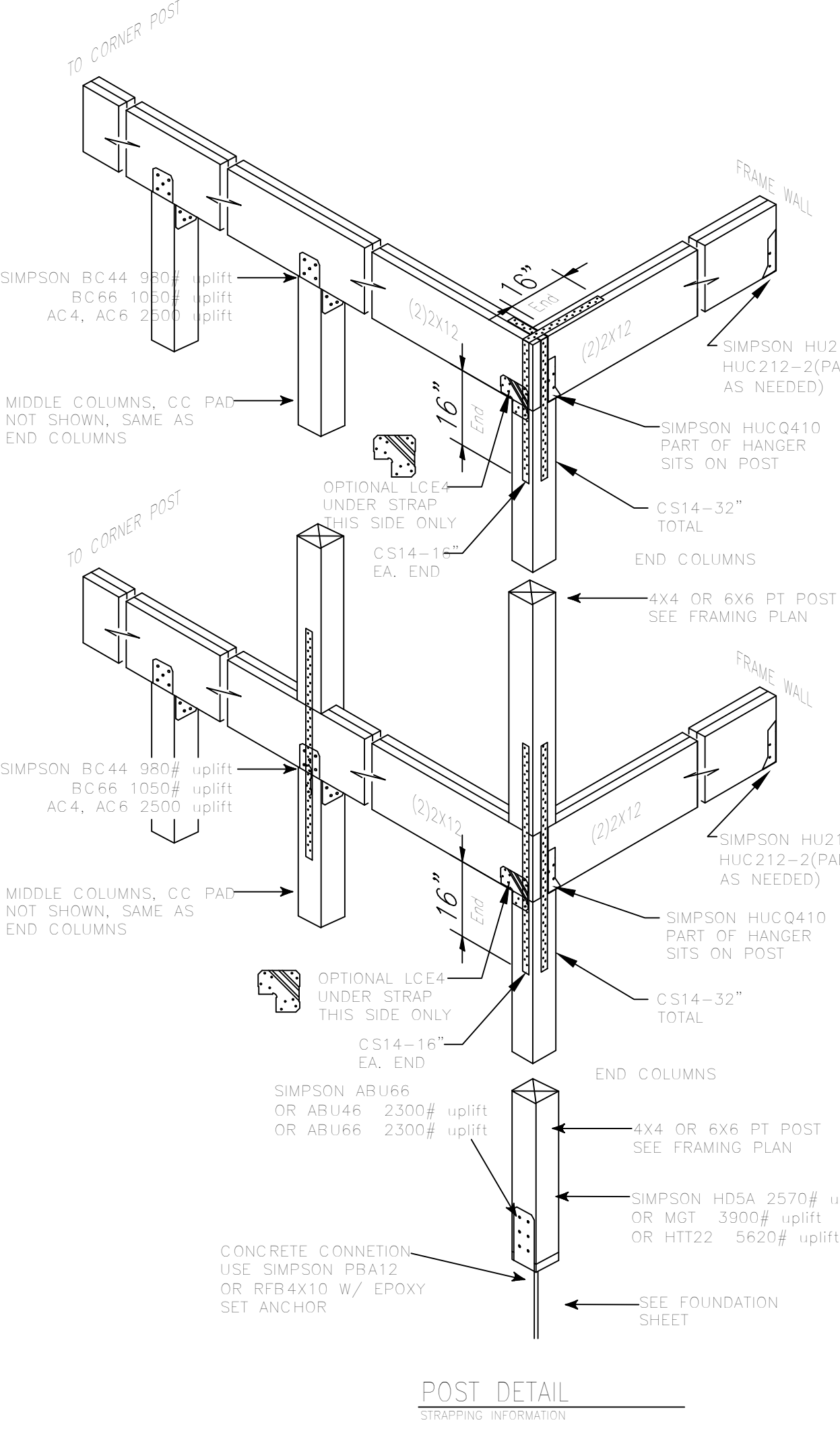
TYPICAL WALL SECTION
SCALE = N.T.S.



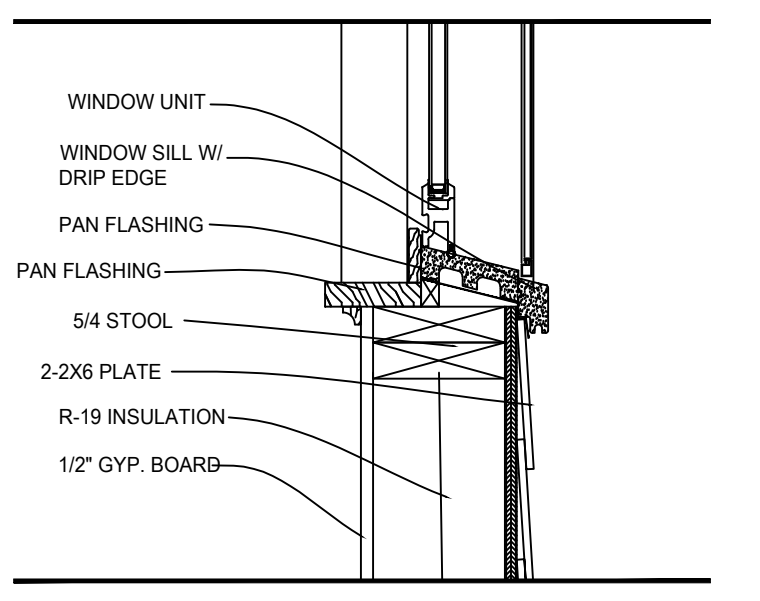
TYPICAL EXTERIOR STAIR DETAILS
SCALE = N.T.S.



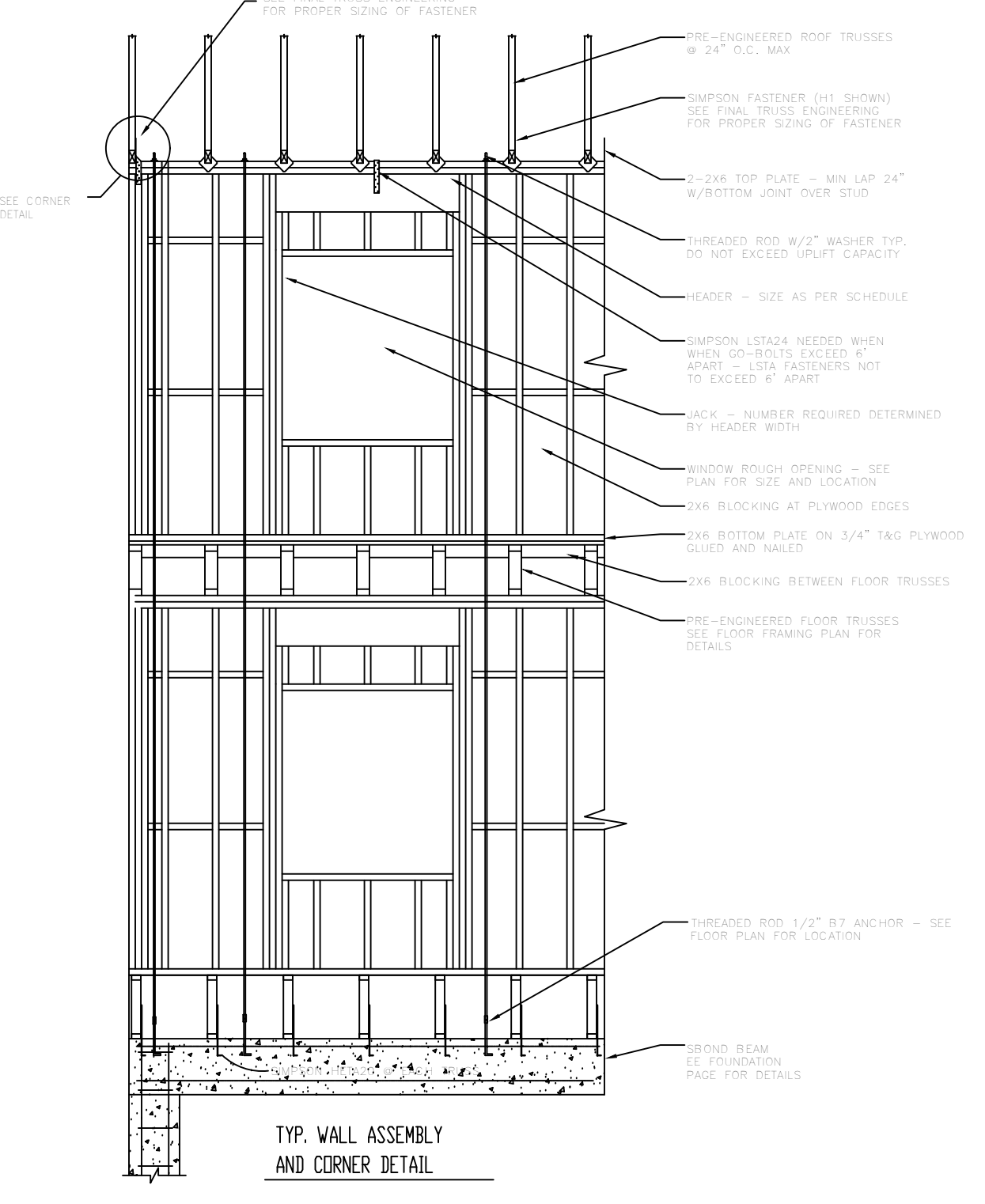
TYPICAL STAIR DETAILS
SCALE = N.T.S.



POST DETAIL
STRAPPING INFORMATION



WINDOW SILL FLASHING DETAIL
NOT TO SCALE



INT. WALL FASTENING DETAIL
NOT TO SCALE

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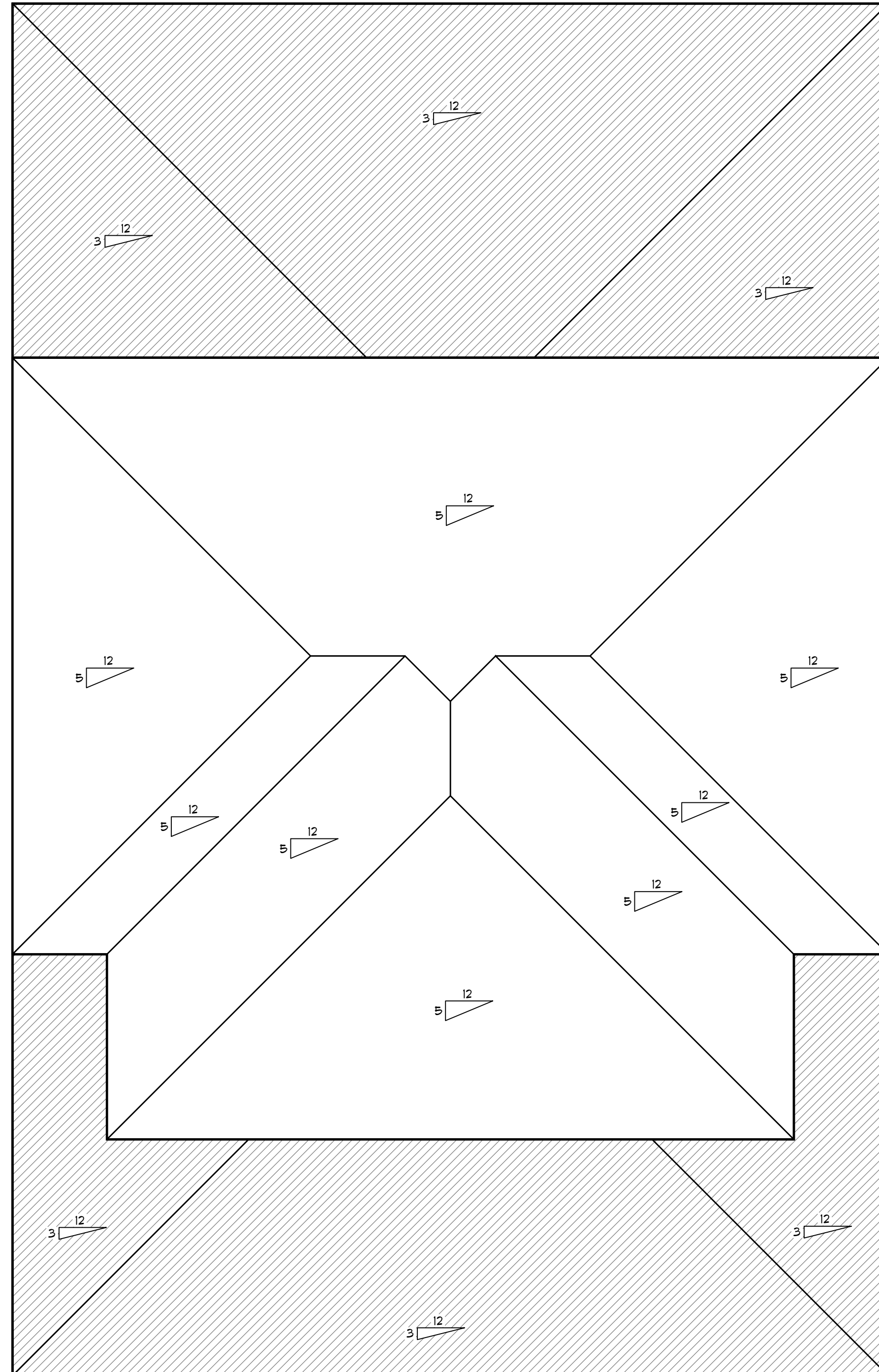
SHEET
9
WALL SEC/DET
SCALE: N.T.S.

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ROOF VENTING CALCS PER FBC R806

AREA 2453 S/F
 VENTING REQUIRED 2453 SF x 144 SQ IN/ SQ FT x 1/300 SQ IN VENT/ SQ IN ROOF = 1178 SQ IN

DISCRETE ROOF AREAS TO HAVE PERCENTAGE OF TOTAL VENTING PROPORTIONAL TO THE PERCENTAGE OF AREA
 VENTING REQUIRED TO BE DOUBLED UNLESS ONE OF THE FOLLOWING TWO CRITERIA IS TRUE:
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NOTE: DUAL PITCHES.
 5/12 ON UPPER LEVEL
 3/12 ON MAIN LEVEL

BIRDSEYE
 SCALE: 1/4" = 1'-0"

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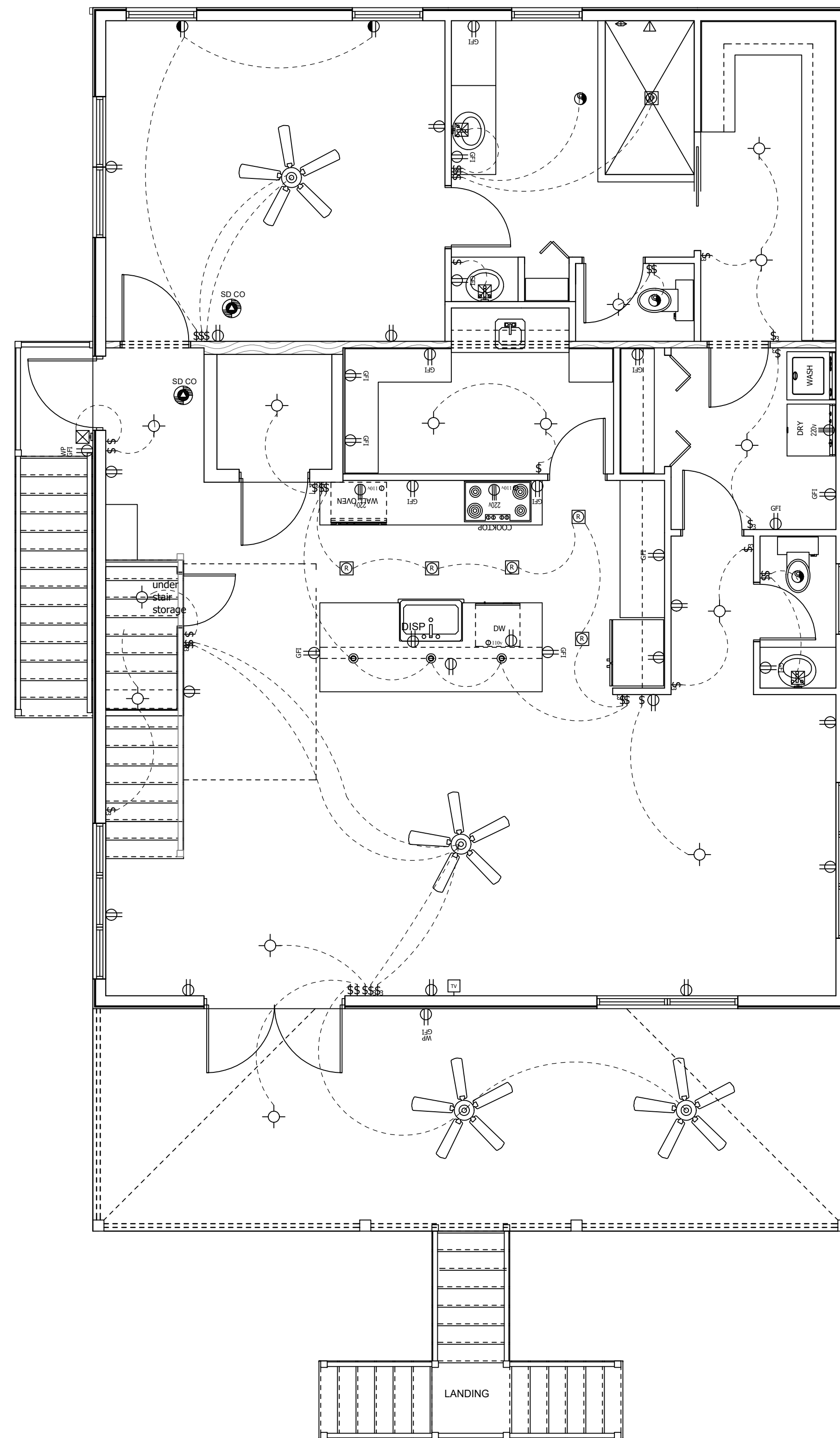
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Project:
 TRI LVL CUSTOM
 TRI-LEVEL CUSTOM HOME
 FORT MYERS, FL

SHEET
 10
 ROOF PLAN
 SCALE: 1/4"=1'-0"
 100F 16



ELECTRICAL LEGEND

	110V JUNCTION		CEILING FAN
	220V JUNCTION		CEILING FAN PREWIRE
	AC DISCONNECT		CEILING FAN LT COMBO
	4H DISCONNECT		CEILING FAN LT COMBO PREWIRE
	CABLE T.V. JACK		
	CHIMES		
	ELECTRIC METER		
	ELECTRICAL PANEL		
	EXHAUST FAN		
	EXHAUST FAN / LIGHT COMBO		
	EXHAUST FAN / LIGHT & HEAT		
	JUNCTION BOX		
	LIGHT CEILING MOUNT		
	LIGHT FLOOD		
	LIGHT FLUORESCENT SINGLE		
	LIGHT FLUORESCENT DBL		
	LIGHT HOOKEYPUCK		
	LIGHT PENDANT		
	LIGHT PULL CHAIN		
	LIGHT RECESS CAN		
	LIGHT TRACK LIGHTING		
	LIGHT VANITY LIGHT		
	LIGHT VANITY LIGHT SMALL		
	LIGHT VAPOR PROTECTED		
	LIGHT WALL MOUNT		
	NETWORK CABLE		
	OUTLET 220V		PUSH BUTTON
	OUTLET 240V		SECURITY PANEL
	OUTLET CEILING		SMOKE DETECTOR
	OUTLET CEILING - GDD PREWIRE		SMOKE & CARBON MON. DETECTOR
	OUTLET DUPLEX		SPEAKER PREWIRE
	OUTLET FLOOR		SWITCH SINGLE
	OUTLET GROUND FAULT INTERRUPT		SWITCH 3-WAY
	OUTLET QUAD		SWITCH 4-WAY
	OUTLET SPECIALTY		SWITCH DIMMER
	OUTLET SPLIT RECEPTAL		TELEPHONE JACK
	OUTLET WEATHER PROOF GFI		THERMOSTAT
			WATER METER

- ELECTRICAL CONTRACTOR TO VERIFY SERVICE REQUIREMENTS AND RISER DIAGRAM
- 200 AMP SERVICE
- ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE, LOCAL CODES, AND THE LOCAL POWER CO.
- SMOKE DETECTORS ARE REQUIRED
- CARBON MONOXIDE DETECTORS ARE REQUIRED
- FIELD VERIFY RECEPTACLE LOCATIONS
- ALL RECEPTACLES NOT REQ'D. TO BE GFI SHALL BE ARC FAULT PROTECTED PER NEC 210.12
- ALL RECEPTACLES TO BE TAMPERPROOF WHERE REQ'D. BY NEC 406.11 ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION
- RECESSED LIGHTING FIXTURES MUST COMPLY WITH FLORIDA ENERGY CODE 606.1.ABC. 1.2.4, PRODUCT APPROVAL (TOTALLY ENCLOSED)
- DISHWASHER OUTLET TO BE UNDER SINK FOR ACCESS
- EXHAUST IN BATHROOMS EXHAUSTED DIRECTLY TO OUTDOORS
- WIRE FOR GARBAGE DISPOSAL WITH SWITCHED OUTLET
- KITCHEN OUTLETS TO BE GFI
- FIELD VERIFY WELL PUMP, POOL PUMP AND AC EQUIPMENT LOCATIONS
- ALL LIGHTING FIXTURES, RECEPTACLES AND LIGHT SWITCHES MUST COMPLY WITH ART. 410 OF NEC
- W/P GFI OUTLET WITHIN 25' OF AC COMPRESSOR
- WIRE FOR GARAGE DOOR OPENER
- ARC FAULT PROTECTION TO BE USED IN ALL BEDROOMS
- ALL SMOKE DETECTORS MUST BE A MINIMUM OF 3' FROM ANY BATHROOM DOOR

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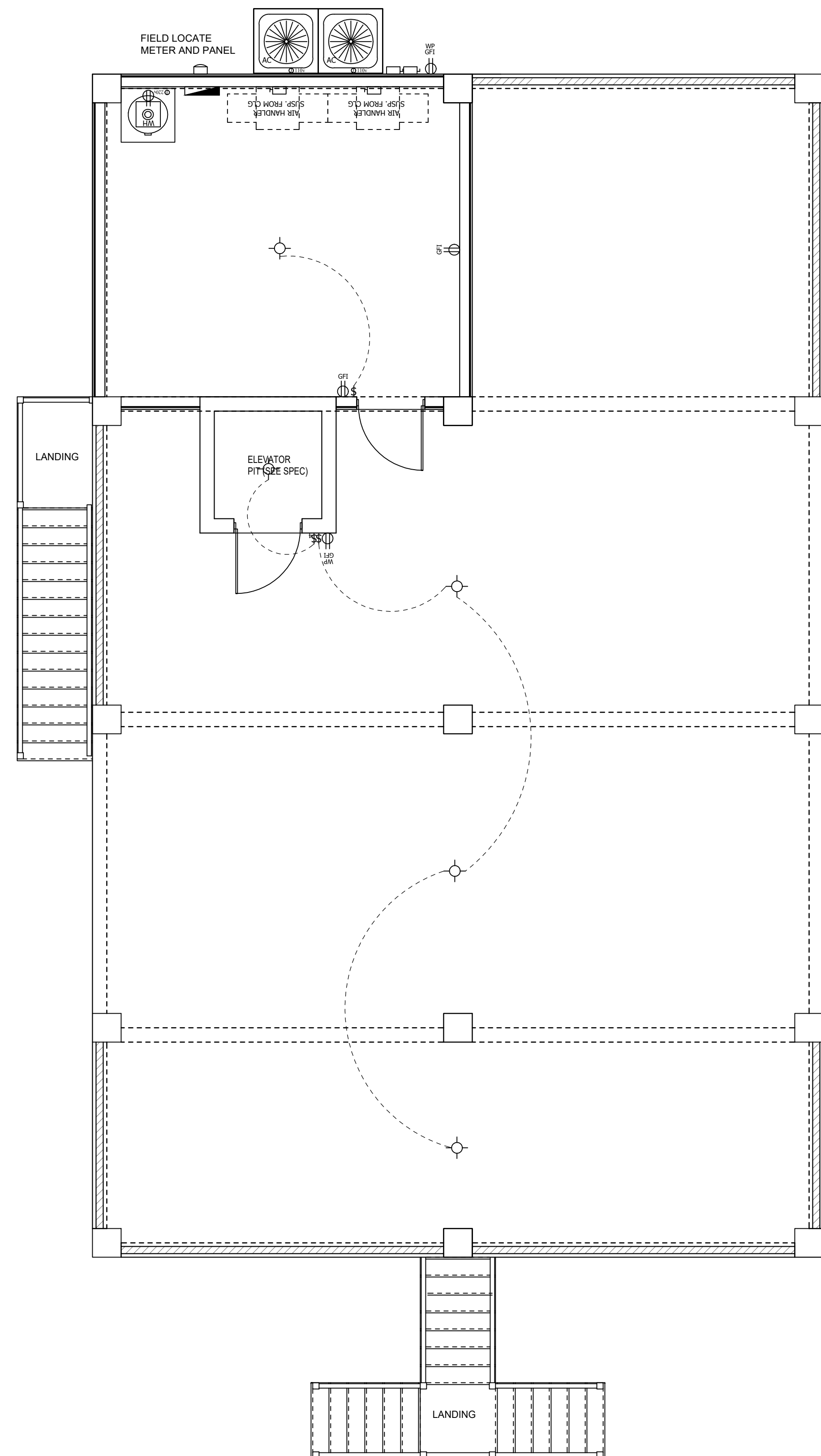
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Project:
TRI LVL CUSTOM
TRI-LEVEL CUSTOM HOME
FORT MYERS, FL

SHEET
11
ELECTRICAL
SCALE: 1/4" = 1'-0"
11 OF 16

DESIGN@BLUESTREAMDESIGNSTUDIO.COM

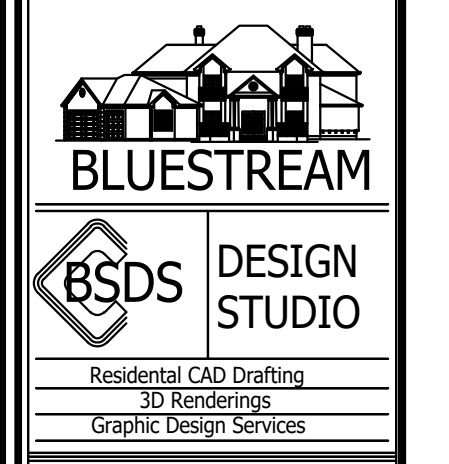


ELECTRICAL LEGEND

	110V JUNCTION		CEILING FAN
	220V JUNCTION		CEILING FAN PREWIRE
	240V DIRECT WIRE		CEILING FAN LT COMBO
	AC DISCONNECT		CEILING FAN LT COMBO PREWIRE
	40A DISCONNECT		
	CABLE T.V. JACK		
	CHIMES		
	ELECTRIC METER		
	ELECTRIC PANEL		
	EXHAUST FAN		
	EXHAUST FAN / LIGHT COMBO		
	EXHAUST FAN / LIGHT & HEAT		
	JUNCTION BOX		
	LIGHT CEILING MOUNT		
	LIGHT FLOOD		
	LIGHT FLUORESCENT SINGLE		
	LIGHT FLUORESCENT DBL		
	LIGHT HOOKEYPUCK		
	LIGHT PENDANT		
	LIGHT PULL CHAIN		
	LIGHT RECESS CAN		
	LIGHT TRACK LIGHTING		
	LIGHT VANITY LIGHT		
	LIGHT VANITY LIGHT SMALL		
	LIGHT VAPOR PROTECTED		
	LIGHT WALL MOUNT		
	NETWORK CABLE		
	OUTLET 220V		PUSH BUTTON
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	OUTLET CEILING - GDO PREWIRE		SMOKE & CARBON MON. DETECTOR
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	OUTLET FLOOR		SWITCH SINGLE
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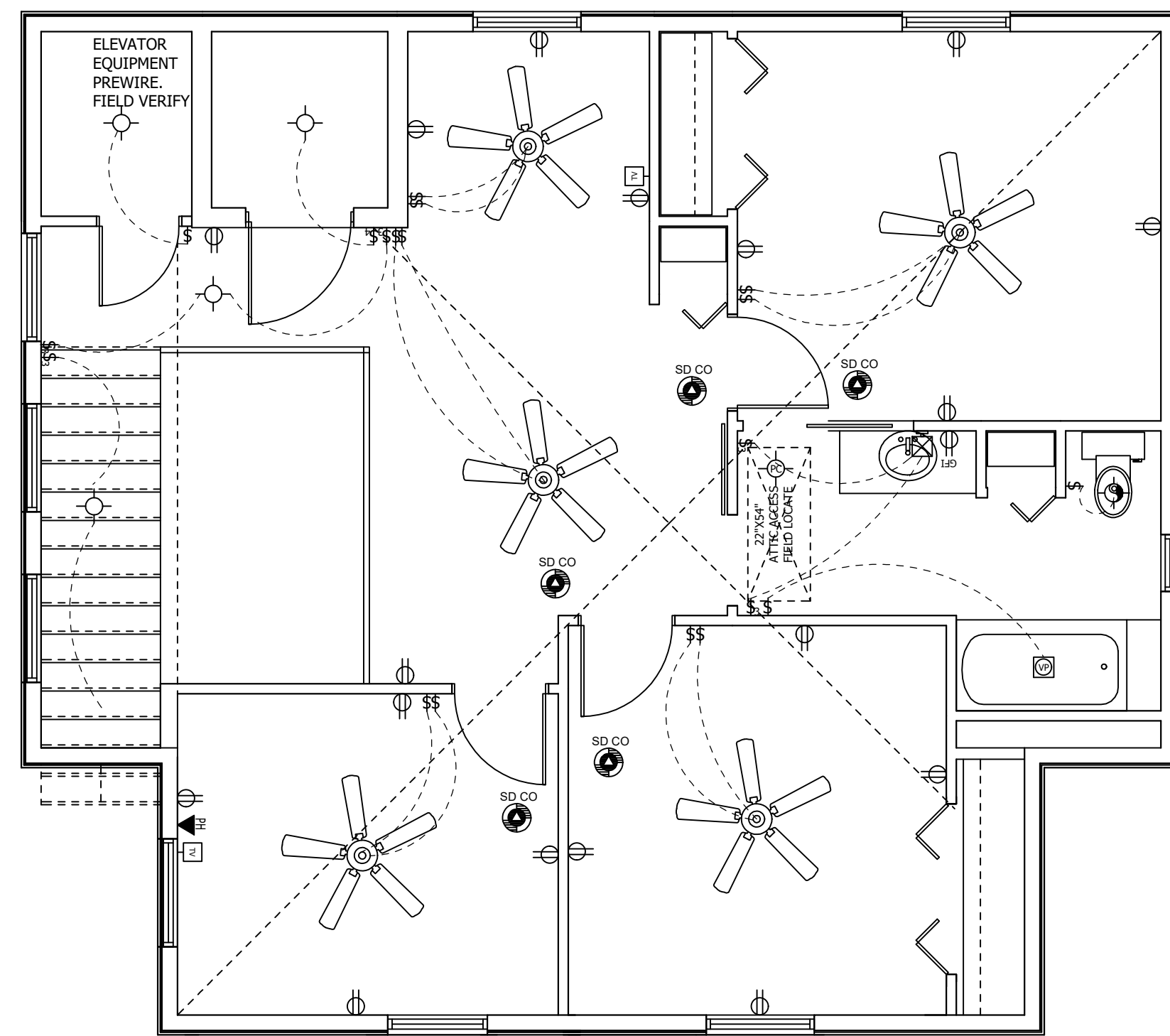
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Project:
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 TRI-LEVEL CUSTOM HOME
 FORT MYERS, FL

SHEET
 12
 ELECTRICAL
 SCALE: 1/4" = 1'-0"



ELECTRICAL LEGEND			
	110V JUNCTION		CEILING FAN
	220V JUNCTION		CEILING FAN PREWIRE
	240V DIRECT WIRE		CEILING FAN LT COMBO
	AC DISCONNECT		CEILING FAN LT COMBO PREWIRE
	AH DISCONNECT		
	CABLE T.V. JACK		
	CHIMES		
	ELECTRIC METER		
	ELECTRICAL PANEL		
	EXHAUST FAN		
	EXHAUST FAN / LIGHT COMBO		
	EXHAUST FAN / LIGHT & HEAT		
	JUNCTION BOX		
	LIGHT CEILING MOUNT		
	LIGHT FLOOD		
	LIGHT FLUORESCENT SINGLE		
	LIGHT FLUORESCENT DBL		
	LIGHT HOOKEYPLUCK		
	LIGHT PENDANT		
	LIGHT PULL CHAIN		
	LIGHT RECESS CAN		
	LIGHT TRACK LIGHTING		
	LIGHT VANITY LIGHT		
	LIGHT VANITY LIGHT SMALL		
	LIGHT VAPOR PROTECTED		
	LIGHT WALL MOUNT		
	NETWORK CABLE		
	OUTLET 220V		PUSH BUTTON
	OUTLET 240V		SECURITY PANEL
	OUTLET CEILING		SMOKE DETECTOR
	OUTLET CEILING - GDO PREWIRE		SMOKE & CARBON MON. DETECTOR
	OUTLET DUPLEX		SPEAKER PREWIRE
	OUTLET FLOOR		SWITCH SINGLE
	OUTLET GROUND FAULT INTERRUPT		SWITCH 3-WAY
	OUTLET QUAD		SWITCH 4-WAY
	OUTLET SPECIALTY		SWITCH DIMMER
	OUTLET SPLIT RECEPTICAL		TELEPHONE JACK
	OUTLET WEATHER PROOF GFI		THERMOSTAT
			WATER METER

- ELECTRICAL CONTRACTOR TO VERIFY SERVICE REQUIREMENTS AND RISER DIAGRAM
- 200 AMP SERVICE
- ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE, LOCAL CODES, AND THE LOCAL POWER CO.
- SMOKE DETECTORS ARE REQUIRED
- CARBON MONOXIDE DETECTORS ARE REQUIRED
- FIELD VERIFY RECEPTACLE LOCATIONS
- ALL RECEPTACLES NOT REQ'D. TO BE GFI SHALL BE ARC FAULT PROTECTED PER NEC 210.12
- ALL RECEPTACLES TO BE TAMPERPROOF WHERE REQ'D. BY NEC 406.11 ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION
- RECESSED LIGHTING FIXTURES MUST COMPLY WITH FLORIDA ENERGY CODE 606.1.ABC. 1.2.4, PRODUCT APPROVAL (TOTALLY ENCLOSED)
- DISHWASHER OUTLET TO BE UNDER SINK FOR ACCESS
- EXHAUST IN BATHROOMS EXHAUSTED DIRECTLY TO OUTDOORS
- WIRE FOR GARBAGE DISPOSAL WITH SWITCHED OUTLET
- KITCHEN OUTLETS TO BE GFI
- FIELD VERIFY WELL PUMP, POOL PUMP AND AC EQUIPMENT LOCATIONS
- ALL LIGHTING FIXTURES, RECEPTACLES AND LIGHT SWITCHES MUST COMPLY WITH ART. 410 OF NEC
- W/P GFI OUTLET WITHIN 25' OF AC COMPRESSOR
- WIRE FOR GARAGE DOOR OPENER
- ARC FAULT PROTECTION TO BE USED IN ALL BEDROOMS
- ALL SMOKE DETECTORS MUST BE A MINIMUM OF 3' FROM ANY BATHROOM DOOR

Although every effort is made to ensure the accuracy of these plans it is the responsibility of the builder to verify all dimensions, details and specifications shown. Bluestream Design Studio will not be held liable for any errors or omissions on these plans.



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OWNER BUILDER
FORT MYERS, FL

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DATE	4/15/23
DESIGN BY:	LBB
CHECKED BY:	TMB
JOB NO.	aaron.castilla.dwg

REV	DESCRIPTION
1	P1 11/23/22
2	P2 12/07/22
3	P3 12/20/22
4	
5	
6	
7	
8	

Project:
TRI LVL CUSTOM
TRI-LEVEL CUSTOM HOME
FORT MYERS, FL

SHEET
13
ELECTRICAL
SCALE: 1/4"=1'-0"
13OF 16

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